

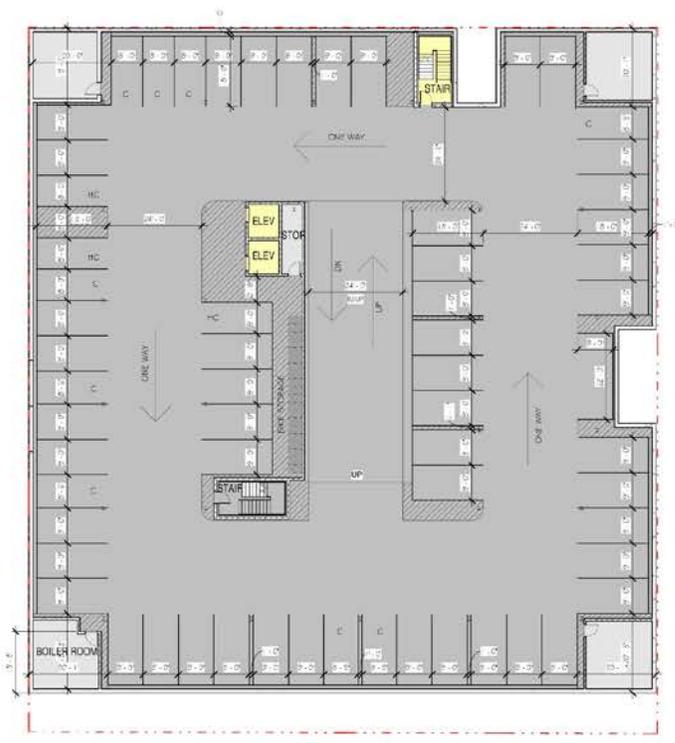


Beverly Crossing

Depot Two

Beverly Planning Board Presentation
August 20, 2019





Lower Garage



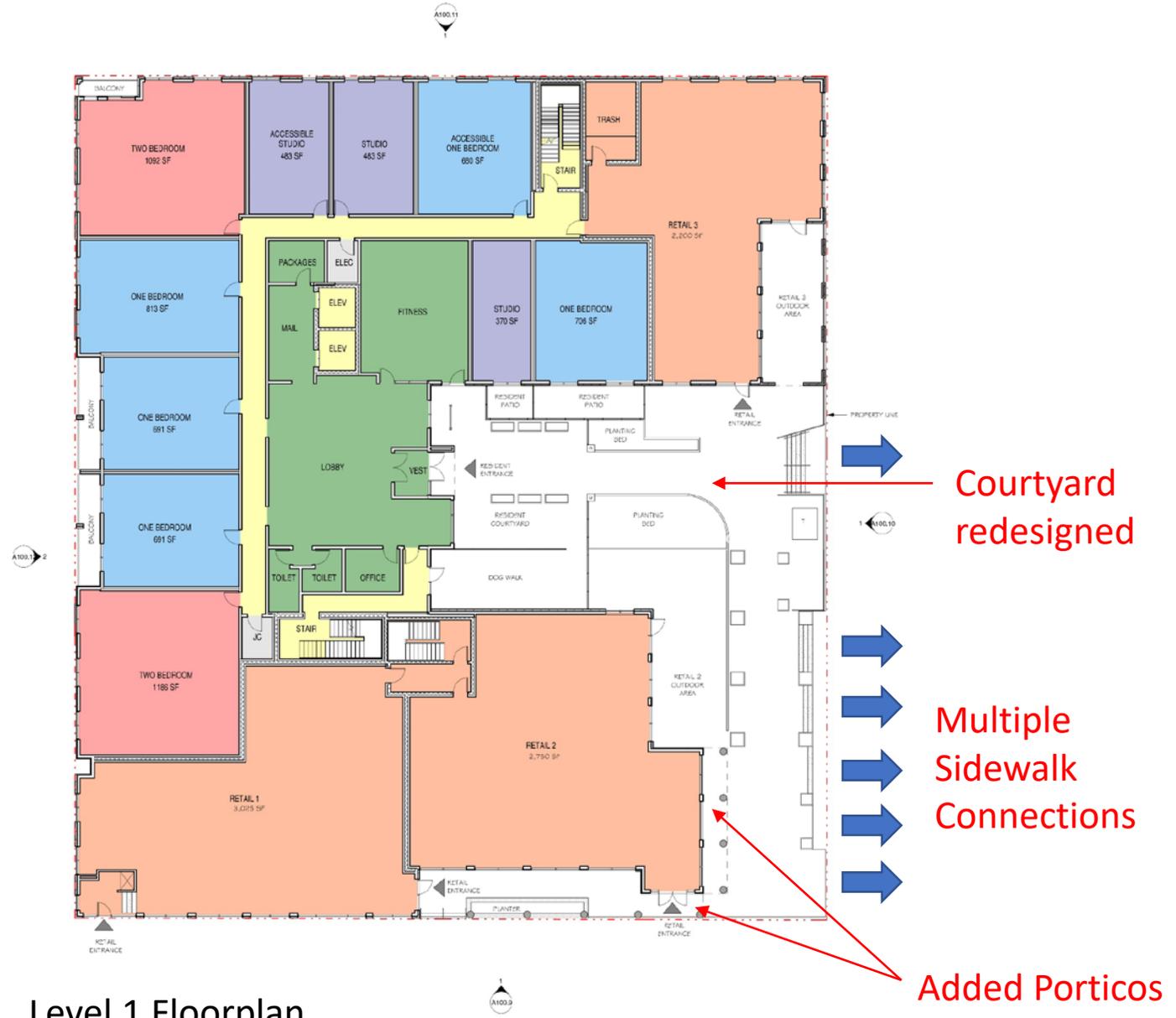
Upper Garage

Unchanged

PARKING REQUIREMENTS:
 RESIDENTIAL: 1 SPACE PER RESIDENTIAL UNIT REQUIRED
 115 APARTMENTS = 115 SPACES (OF THE 115 SPACES, 6 ARE REQUIRED TO BE HC)
 RETAIL: 1 SPACE PER 275 SF OF GROSS FLOOR AREA REQUIRED
 7,975 SF RETAIL/ 275 SF = 29 SPACES
 TOTAL REQUIRED: 115 + 29 = 144 SPACES

PARKING MATRIX	
	# OF SPACES
LOWER GARAGE	61
UPPER GARAGE	54
STREET PARKING ALONG FRONTAGE	32
TOTAL PARKING SPACES PROVIDED	147

6 hc spaces
 17 compact



Level 1 Floorplan

10 units

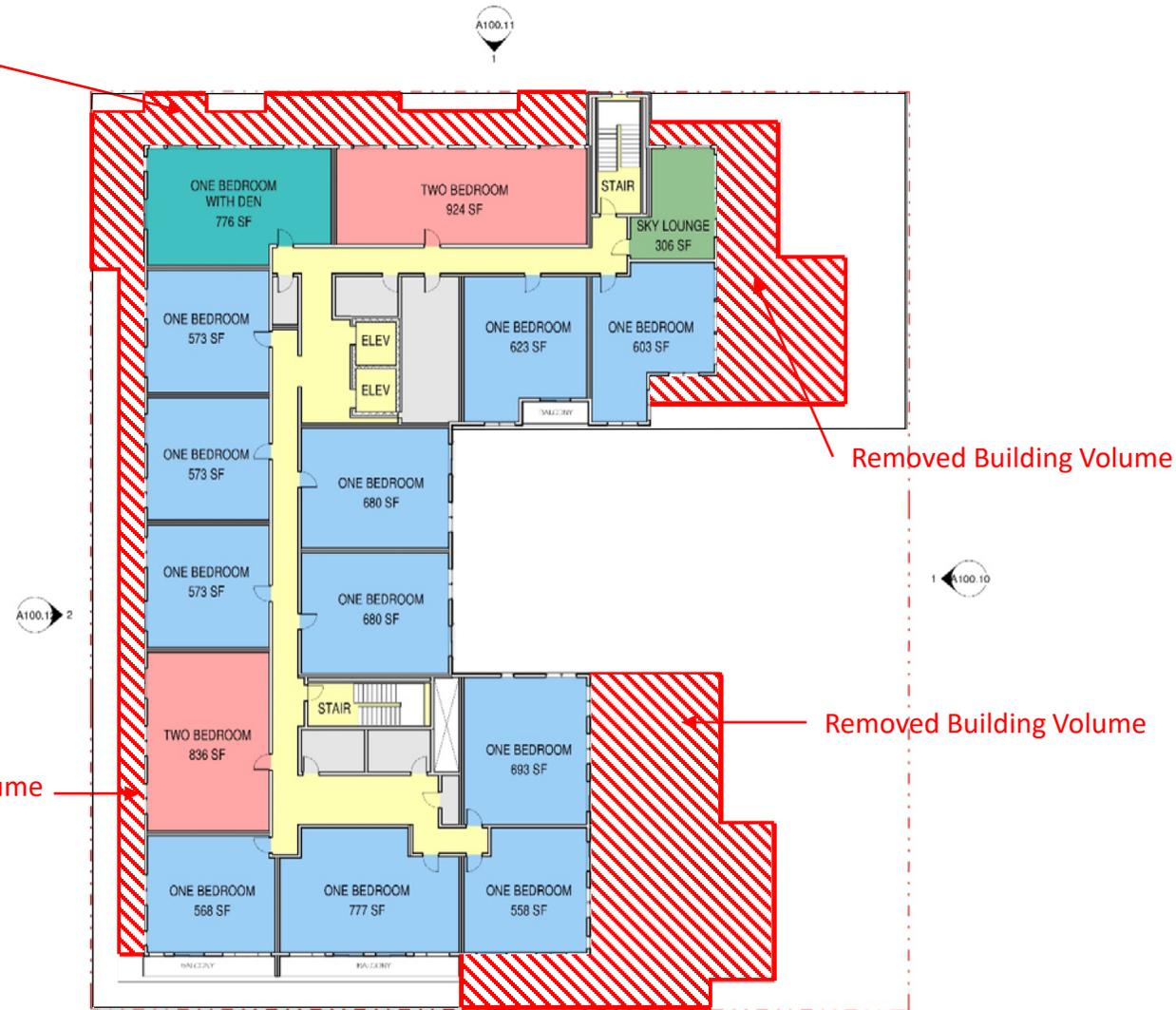
7,975 SF of Retail



COLOR LEGEND

- CIRCULATION
- COMMON
- GARAGE
- MECHANICAL
- ONE BED WITH DEN
- ONE BEDROOM
- RETAIL
- STUDIO
- TWO BEDROOM

Removed Building Volume



Removed Building Volume

Removed Building Volume

Removed Building Volume

Level 6 Floorplan

~~19~~ units 14 units

Lost 6- one bedrooms, gained 1- one bedroom w/den

Floor Area was 18,700 (64.8%) now 13,900 s.f. (48%)

25% reduction in floor area

COLOR LEGEND

- CIRCULATION
- COMMON
- GARAGE
- MECHANICAL
- ONE BED WITH DEN
- ONE BED ROOM
- RETAIL
- STUDIO
- TWO BED ROOM



NOTE: ALL SIGNAGE IS SHOWN FOR ILLUSTRATIVE PURPOSES. FUTURE APPROVAL WILL BE SOUGHT.

Revised East Exterior Elevation (Rantoul Street)





Revised North Exterior Elevation (Railroad Ave)



Revised West Exterior Elevation (Park Street) showing adjacent railroad and tree heights



View from Pleasant Street/ Park
Street looking East



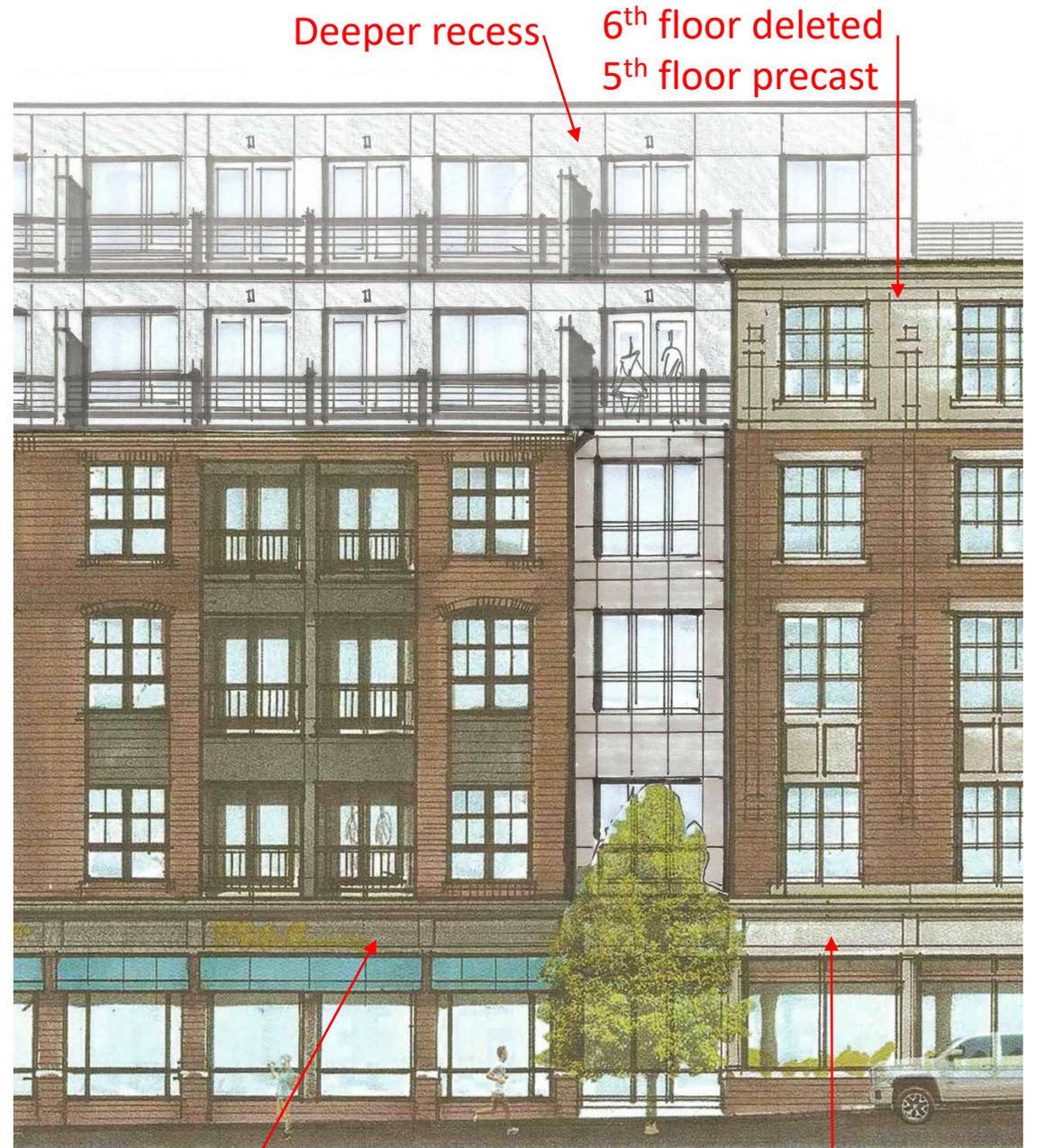
View from Park Street
looking South



Revised South Exterior Elevation (Pleasant Street)

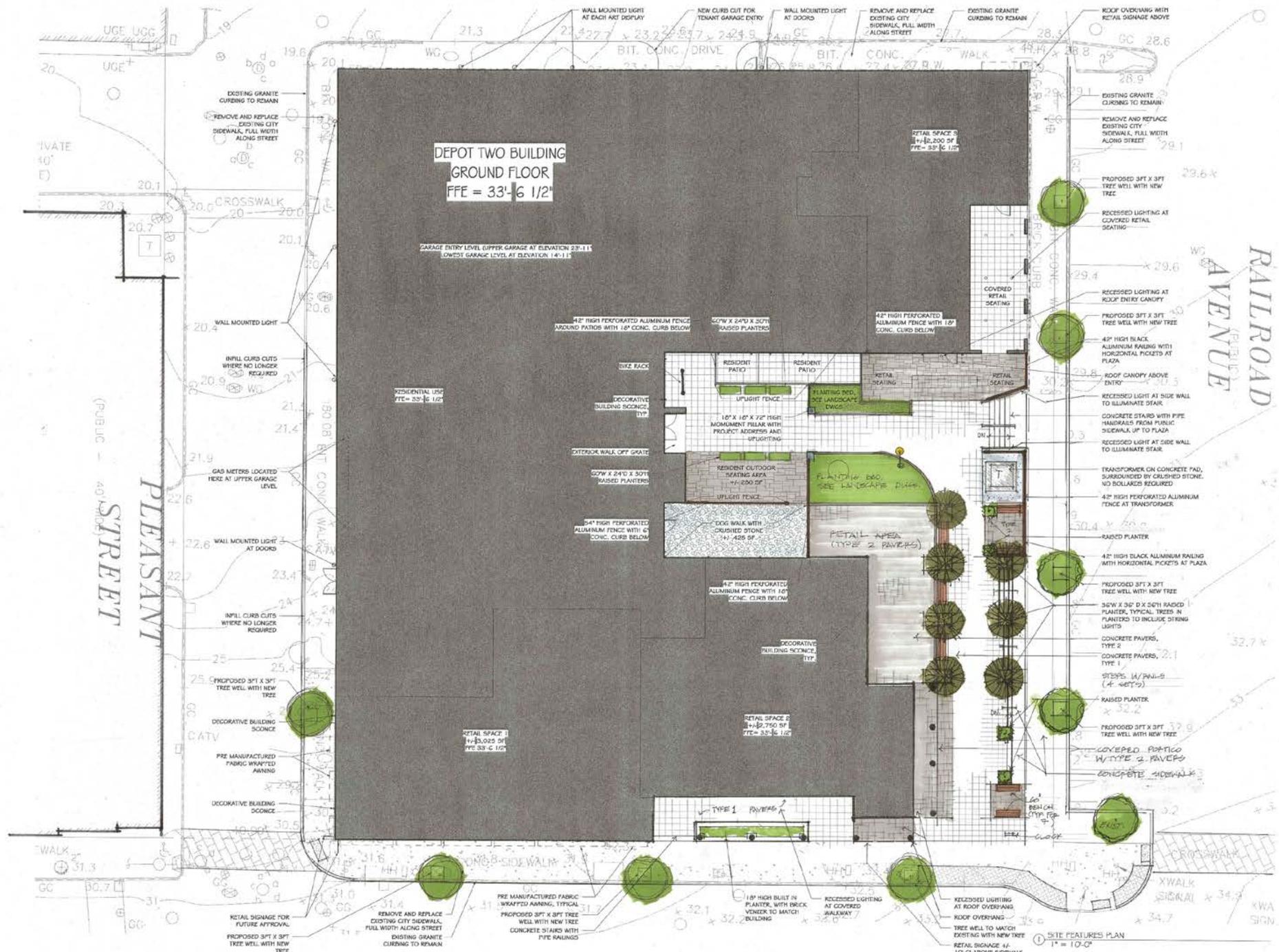


Enlarged Rantoul Street Elevation



Boral cornice

Precast cornice



**DEPOT TWO BUILDING
GROUND FLOOR
FFE = 33'-6 1/2"**

GARAGE ENTRY LEVEL UPPER GARAGE AT ELEVATION 28'-1 1/2"
LOWEST GARAGE LEVEL AT ELEVATION 14'-1 1/2"

RESIDENTIAL USE
FFE = 33'-6 1/2"

RETAIL SPACE 3
FFE = 33'-6 1/2"

RETAIL SPACE 1
FFE = 33'-6 1/2"

RETAIL SPACE 2
FFE = 33'-6 1/2"

**① SITE FEATURES PLAN
1" = 10'-0"**



Jaclyn Tower
215 Rantoul Street



Canvas
199/211 Rantoul Street



US Post Office
151 Rantoul Street



Flats at 131
131 Rantoul Street



Station 101
101 Rantoul Street



Porter Mill
95 Rantoul Street



Gateway Condominiums
58 Rantoul Street



Holmes Beverly
110 Rantoul Street



Depot Square 1
112 Rantoul Street

Context Images



60 Pleasant



Gateway



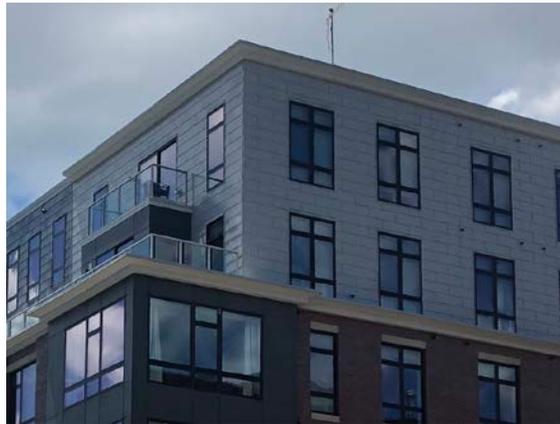
NGRID



Porter Mill



Depot 1



Holmes Beverly



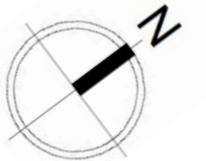
Flats at 131

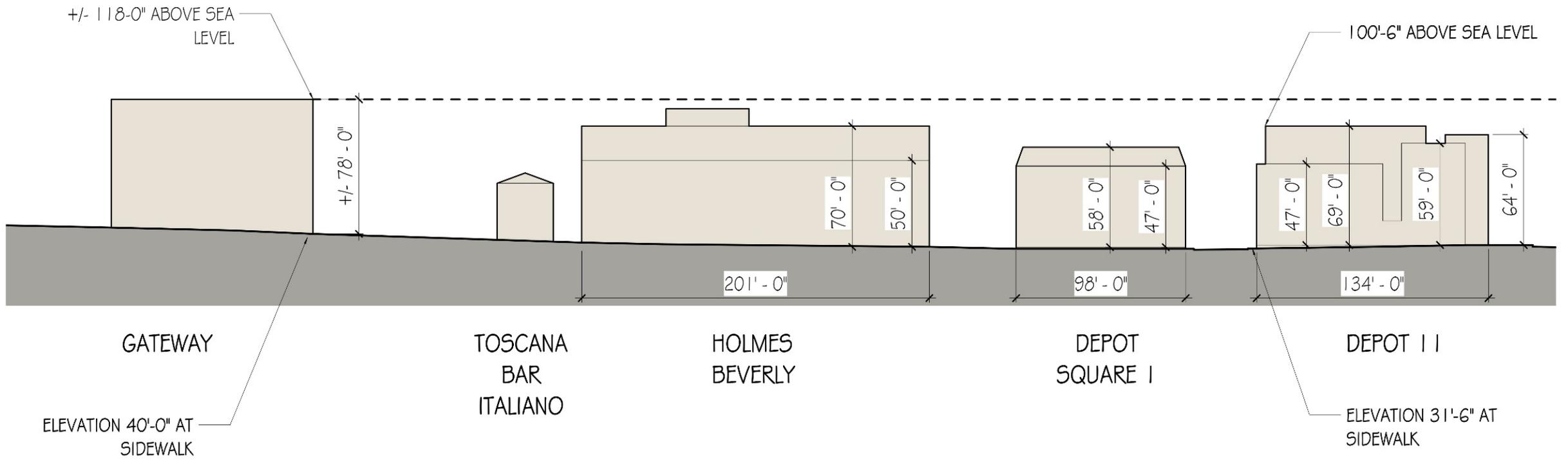


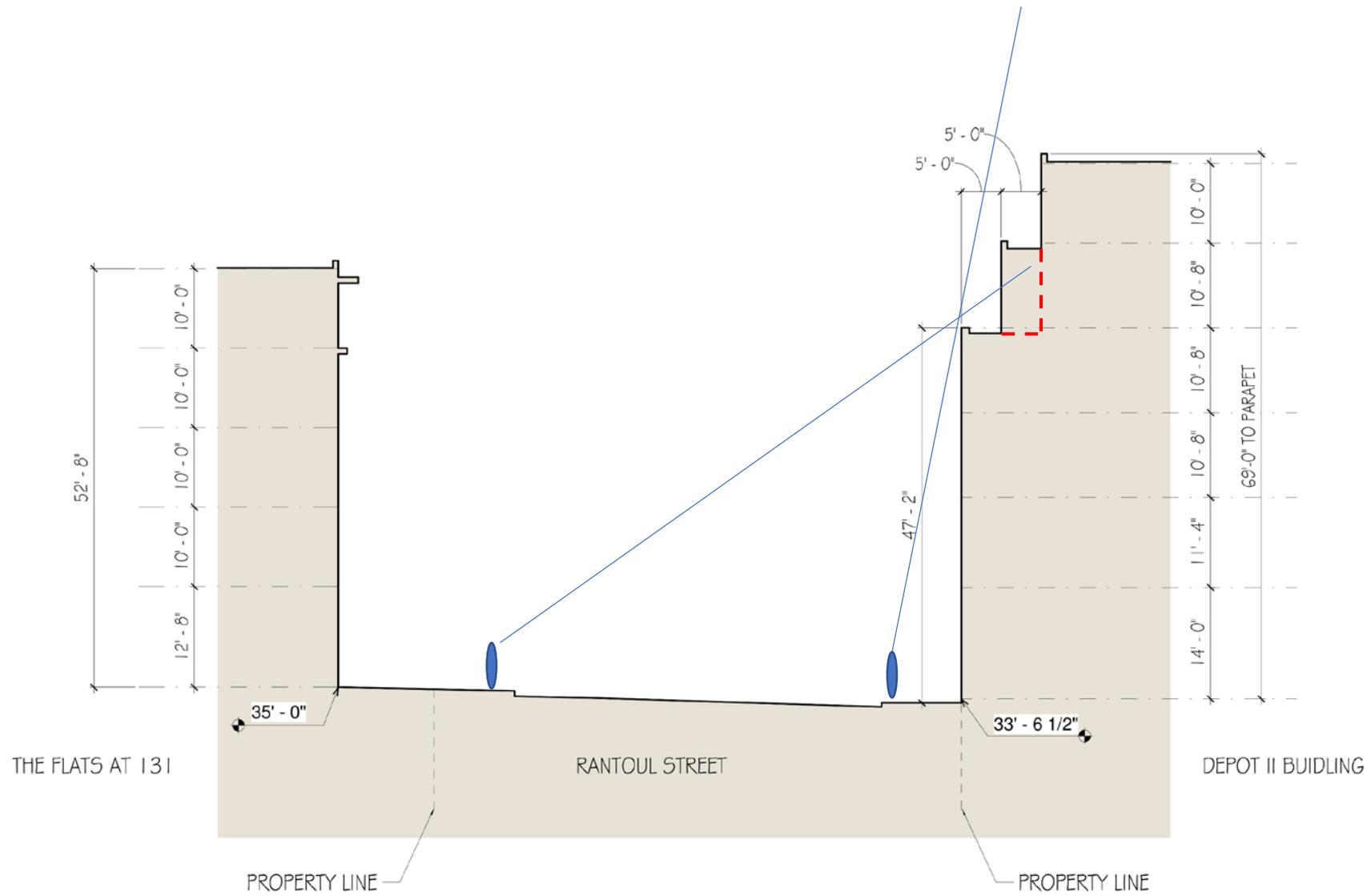
Van Ness



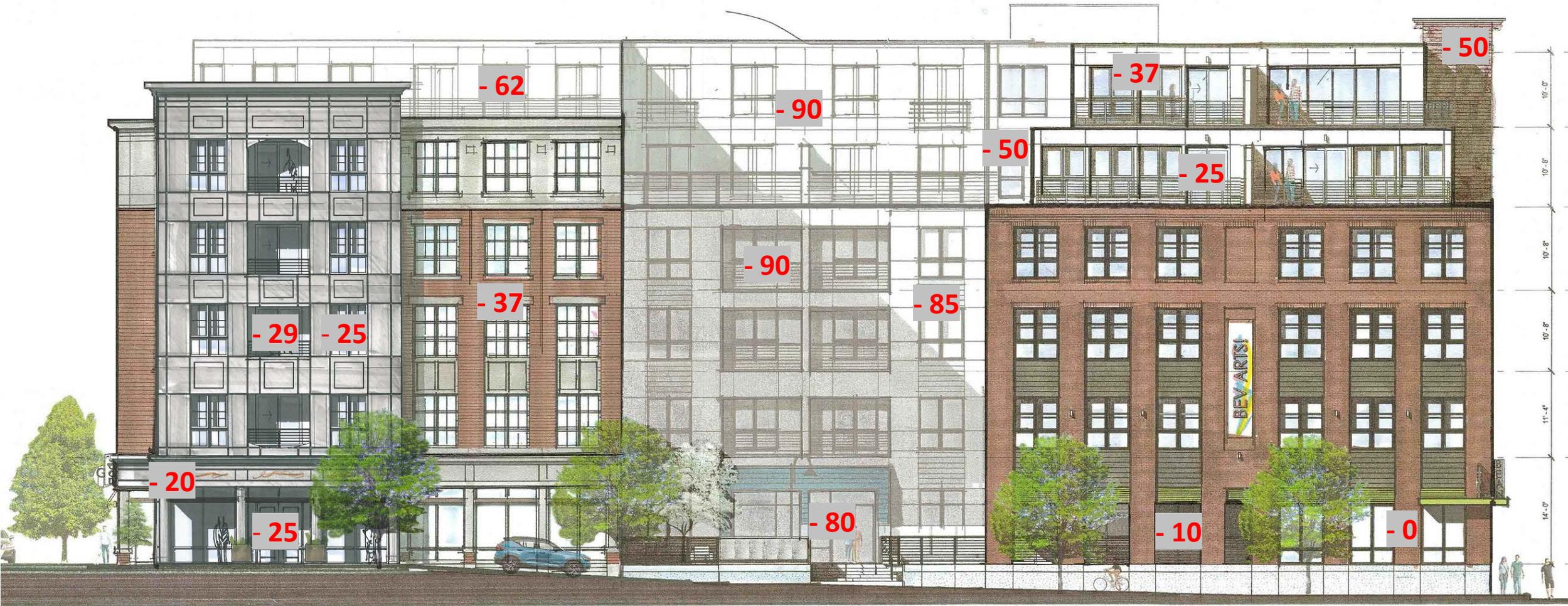
Aerial Site View



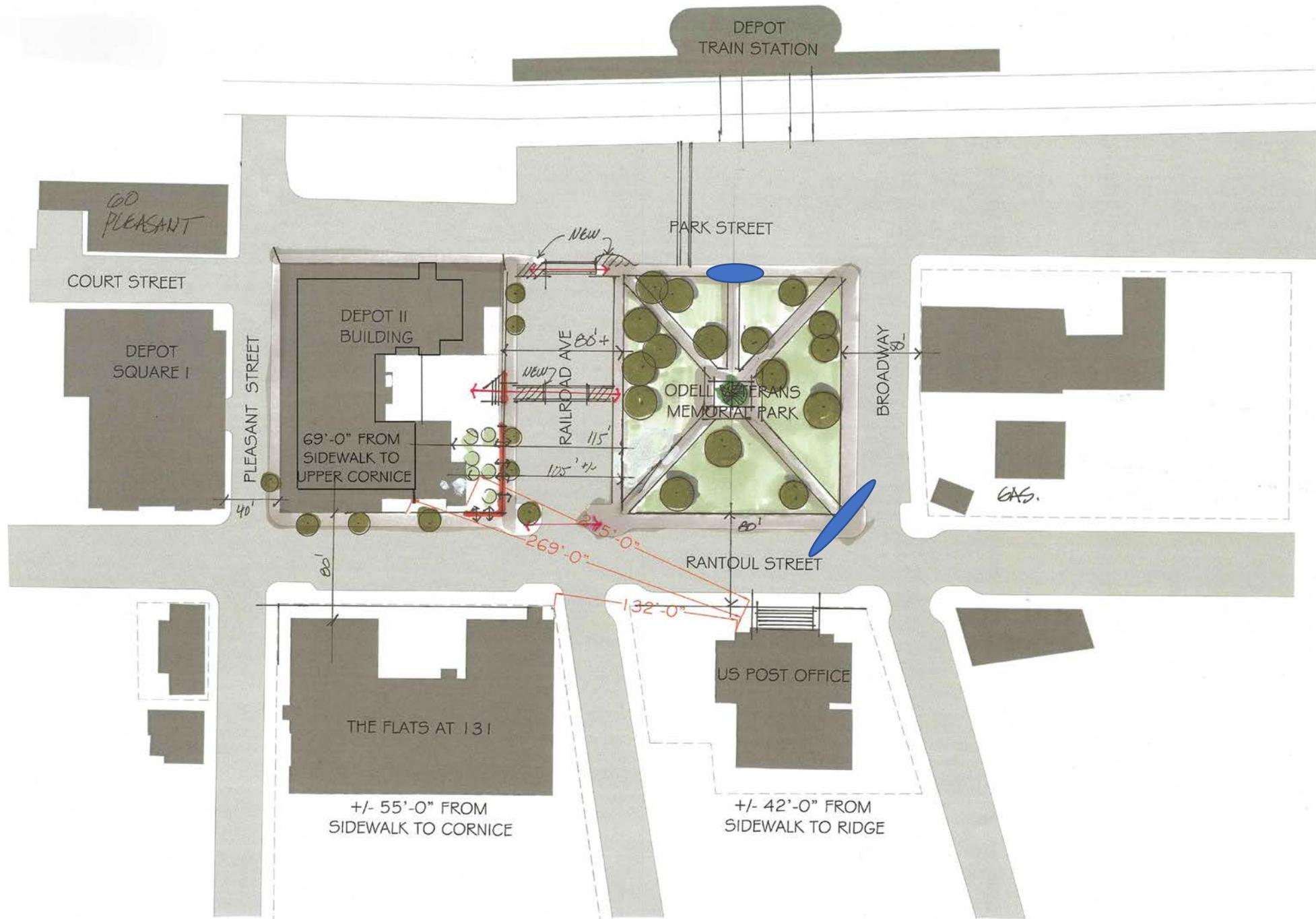


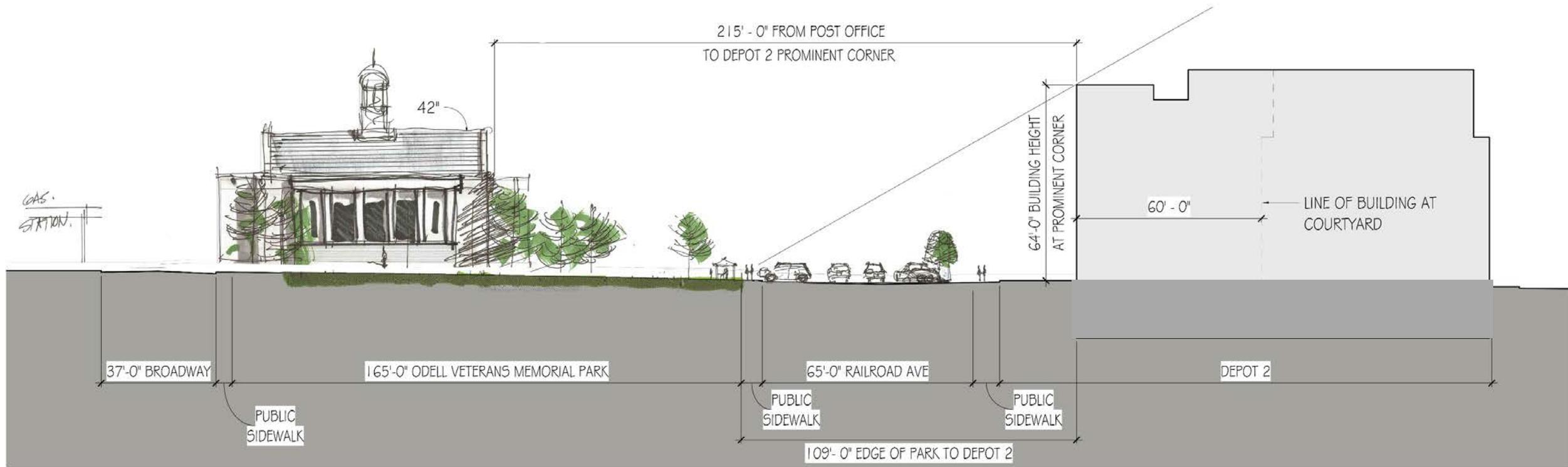


Section through Rantoul Street

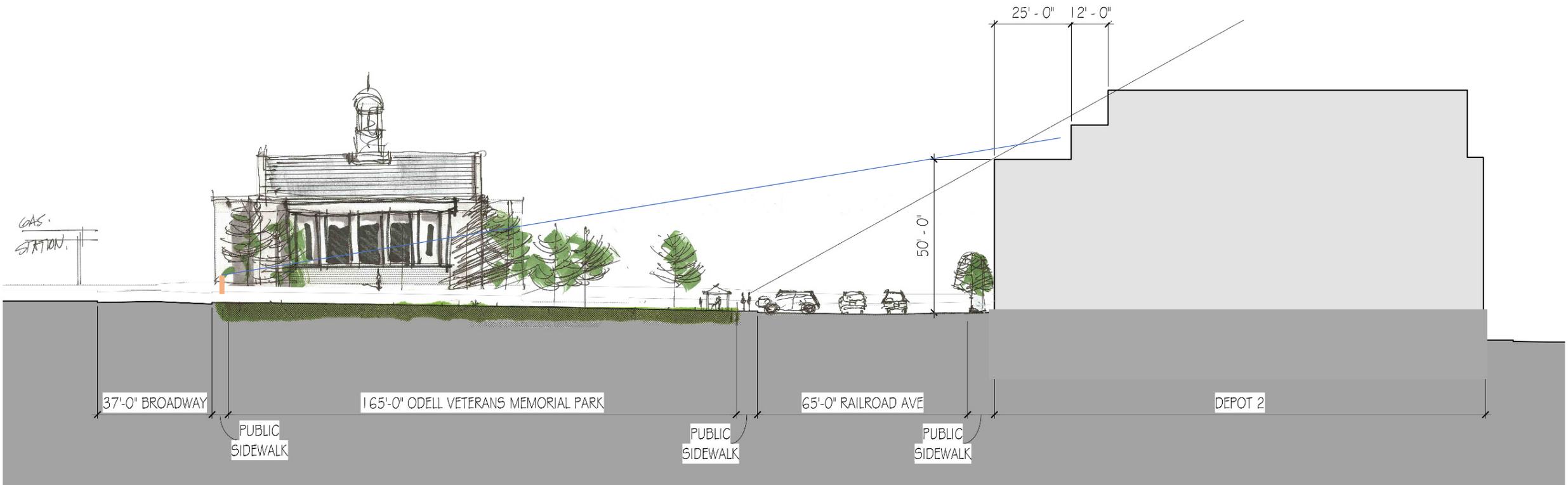


Distances from Property Line (in feet)





Section Through Park at Prominent Corner



Section Through Park at lower leg

