

# PERMIT SITE DEVELOPMENT PLANS

(TO ACCOMPANY A SITE PLAN REVIEW & SPECIAL PERMIT APPLICATION)

MAP: 4 LOT: 85-89

## 134-142-146 RANTOUL STREET AND 1-9 PARK STREET

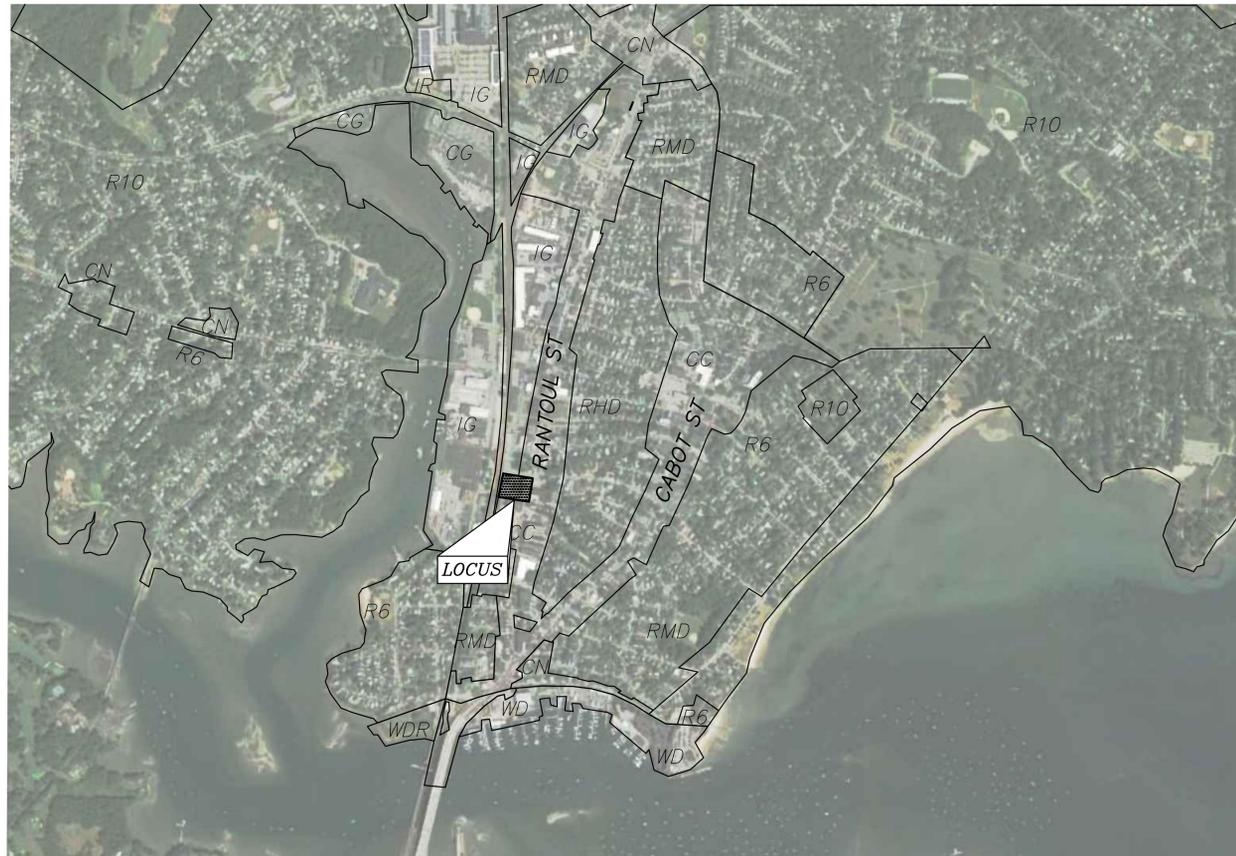
LOCATED IN

### BEVERLY, MASSACHUSETTS

DATE: JUNE 10, 2019

OWNER/APPLICANT:

DEPOT SQUARE PHASE II, LLC  
15 RANTOUL STREET  
BEVERLY, MASSACHUSETTS, 01915



PREPARED BY:

**MERIDIAN ASSOCIATES**  
500 CUMMINGS CENTER, SUITE 5950 BEVERLY, MASSACHUSETTS 01915  
69 MILK STREET, SUITE 302 WESTBOROUGH, MASSACHUSETTS 01581  
TELEPHONE: (978) 299-0447 TELEPHONE: (508) 871-7030  
WWW.MERIDIANASSOC.COM

### DRAWING INDEX

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SHEET 8	PERMIT DETAILS

**AREA MAP**  
SCALE: 1"=800'



BEVERLY PLANNING  
BOARD APPROVAL

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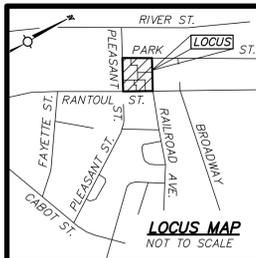
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DATE



**TEMPORARY BENCHMARK CHART**

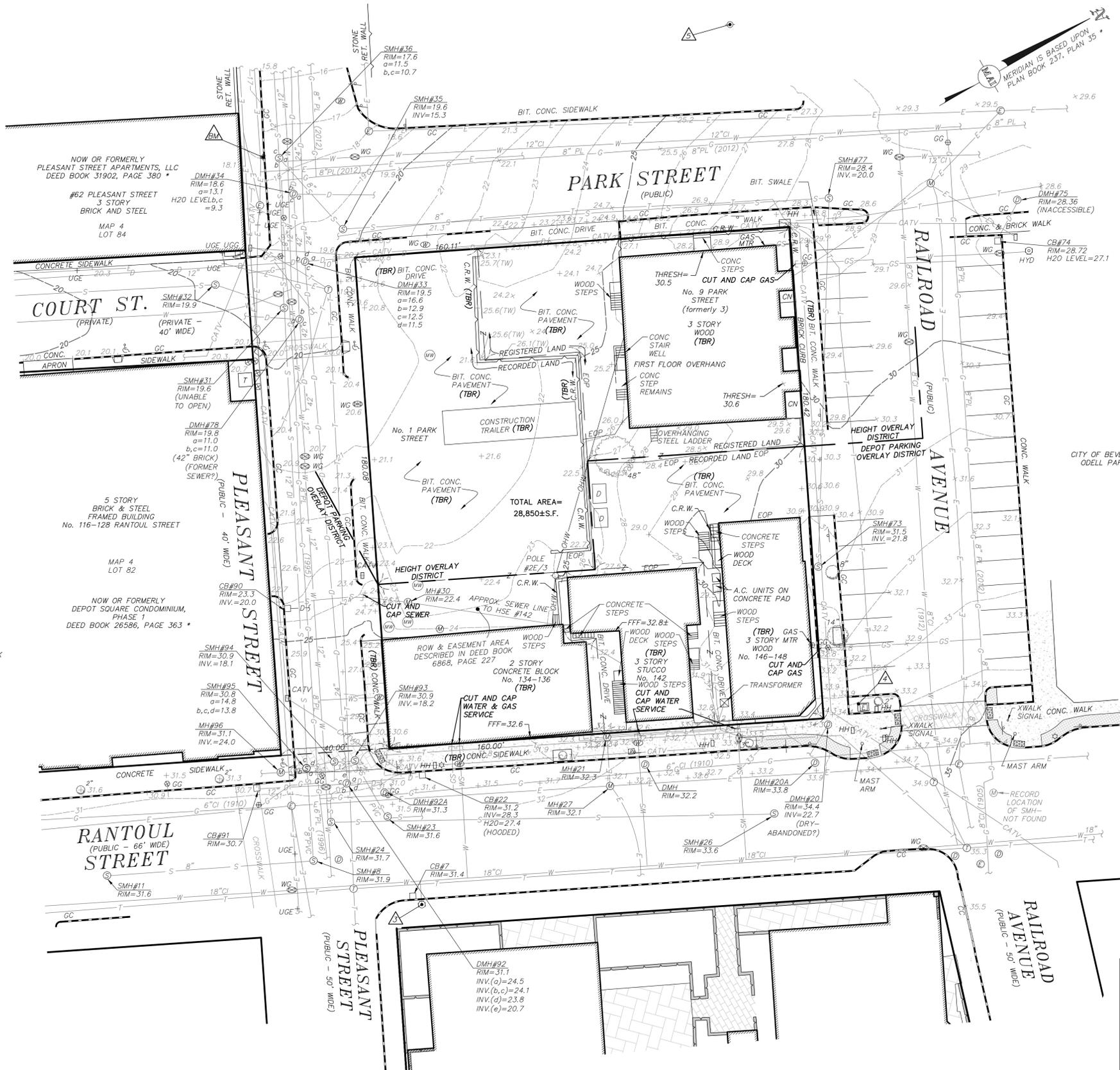
DATUM: SOUTH ESSEX SEWERAGE DISTRICT DATUM  
(SEE NOTE 6)

T.B.M.#	DESCRIPTION	ELEVATION
BM	NORTHEASTERLY ANCHOR BOLT OF LIGHT POLE BASE	18.23
△	HYDRANT X-CUT FRONT CAP BOLT, 1.9' A.G.	33.70
△	SQUARE CUT ON SOUTHWEST CORNER OF TRAFFIC CONTROL BOX PAD, 1.3' A.G.	35.36
△	CUT SPIKE IN UTILITY POLE, NO POLE #, 1.0' A.G.	31.98

**LEGEND**

- OHV- OVERHEAD WIRES
- 24- ONE FOOT CONTOUR LINE
- 25- FIVE FOOT CONTOUR LINE
- GC- CONCRETE CURB
- CL- CHAIN LINK FENCE
- CRW- CONCRETE RETAINING WALL (CRW)
- GC- GRANITE CURB
- TBR- BITUMINOUS CONCRETE
- THRESH- THRESHOLD ELEVATION
- FFF- FINISH FIRST FLOOR ELEVATION
- UGE- UNDERGROUND ELECTRIC PAINT MARK
- UGG- UNDERGROUND GAS PAINT MARK
- UGW- UNDERGROUND WATER PAINT MARK
- G- GAS LINE
- W- WATER LINE
- S- SEWER LINE
- E- ELECTRIC LINE
- D- STORM DRAIN LINE
- T- TELECOMMUNICATIONS LINE
- CATV- CABLE LINE
- GS- GAS SERVICE LINE
- WS- WATER SERVICE LINE
- Z- INTERIOR LOT LINE
- Z- OVERLAY DISTRICT ZONING LINE
- +22.4- SPOT GRADE
- CB- CATCH BASIN
- MH- MANHOLE
- DMH- DRAIN MANHOLE
- HH- HANDHOLE
- SMH- SEWER MANHOLE
- EL- ELECTRIC MANHOLE
- L- LIGHT
- HY- HYDRANT
- TM- TELEPHONE MANHOLE
- MW- MONITORING WELL
- WG- WATER GATE
- GG- GAS GATE
- T- TREE
- S- SIGN
- EB- ELECTRIC BOX
- PM- PARKING METER
- (TBR)- TO BE REMOVED
- D- DUMPSTER

ALL UNDERGROUND UTILITY DATA REPRESENTS RECORD INFORMATION RECOVERED THROUGH RESEARCH WITHOUT SURFACE DEMARICATION NOR SUBSURFACE VERIFICATION.



**NOTES:**

- THE TOPOGRAPHY, SITE DETAIL & SURFACE IMPROVEMENTS DEPICTED HEREON WERE OBTAINED FROM AN INSTRUMENT SURVEY CONDUCTED ON THE GROUND BY MERIDIAN ASSOCIATES, INC. BETWEEN DECEMBER, 2012 AND MAY 1, 2019.
- THE SUBJECT PROPERTIES ARE LOCATED IN ZONING DISTRICT CC. IN ADDITION, THE OVERALL LOCUS PROPERTY IS DIVIDED BY TWO SEPARATE OVERLAY ZONING DISTRICTS, HEIGHT OVERLAY AND DEPOT PARKING OVERLAY, AS DEPICTED ON THE PLAN.
- THE SUBJECT PROPERTIES ARE DEPICTED AS LOTS 85-89 ON CITY OF BEVERLY ASSESSOR'S MAP 4. LOT 89 IS REGISTERED LAND.
- THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED UPON FIELD SURVEY AND COMPILATION OF PLANS OF RECORD. MERIDIAN ASSOCIATES, INC. DOES NOT WARRANT NOR GUARANTEE THE LOCATION OF ALL UTILITIES DEPICTED OR NOT DEPICTED. THE CONTRACTOR, PRIOR TO COMMENCEMENT OF CONSTRUCTION, SHALL VERIFY THE LOCATION OF ALL UTILITIES AND CONTACT DIG SAFE AT 1-888-344-7233.
- THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE LAND; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
- THE ELEVATIONS DEPICTED HEREON WERE BASED ON THE SOUTH ESSEX SEWERAGE DISTRICT DATUM, REFERENCED ON RECORD DRAWINGS PREPARED BY METCALF & EDDY FOR THE SOUTH ESSEX SEWERAGE DISTRICT ENTITLED, "BEVERLY TUNNEL ABANDONMENT PROJECT, PLAN AND PROFILE PARK STREET," SHEET C-13 DATED 6/23/94, REVISED 4/25/97. STARTING BENCHMARK: NORTHEASTERLY ANCHOR BOLT OF LIGHT BASE ADJACENT TO No. 62 PLEASANT STREET; ELEV.=18.23.

**RECORD OWNER:**

DEPOT SQUARE PHASE II, LLC  
15 RANTOUL STREET  
BEVERLY, MA  
-DEED BOOK 37561, PAGE 140\*  
(MAP 4, LOTS 85, 86, & 87)  
(134-136, 142 RANTOUL STREET & 1 PARK STREET)  
-DEED BOOK 37561, PAGE 23\*  
(MAP 4, LOT 88)  
(146-148 RANTOUL STREET)  
-CERTIFICATE No. 86336\*  
(MAP 4 LOT 89)  
(9 PARK STREET)

**REFERENCES:**

- PLAN BOOK 10, PLAN 41\*
  - PLAN No. 384 OF 1960\*
  - LAND COURT CASE No. 11595 A\*
  - PLAN BOOK 168, PLAN 39\*
- \*DOCUMENTS RECORDED AT THE ESSEX SOUTH REGISTRY OF DEEDS.

**134-142-146 RANTOUL STREET AND 1-9 PARK STREET**

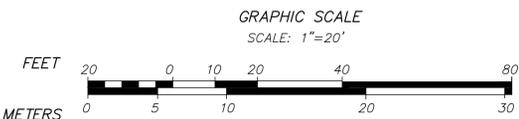
**RECORD CONDITIONS PLAN**  
(TO ACCOMPANY A SITE PLAN REVIEW AND SPECIAL PERMIT APPLICATION)  
LOCATED IN  
**BEVERLY, MASSACHUSETTS**  
(ESSEX COUNTY)

PREPARED FOR  
**DEPOT SQUARE PHASE II, LLC**  
SCALE: 1"=20' DATE: JUNE 10, 2019

**MERIDIAN ASSOCIATES**

500 CUMMINGS CENTER, SUITE 5950 BEVERLY, MASSACHUSETTS 01915  
69 MILK STREET, SUITE 302 WESTBOROUGH, MASSACHUSETTS 01581  
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SHEET No. 2 OF 8 PROJECT No. 4832-6

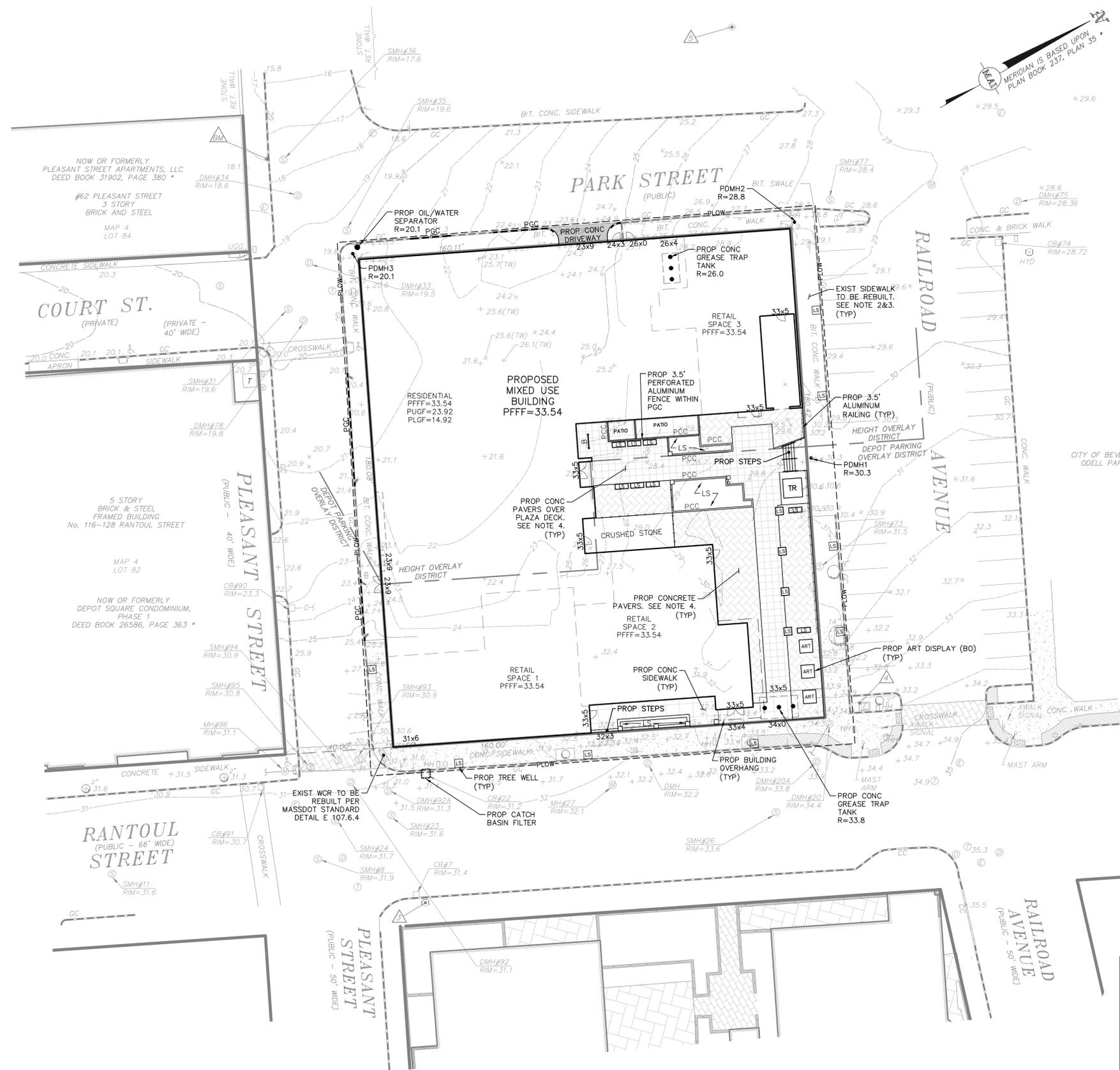


**REVISIONS**

NO.	DATE	DESCRIPTION	BY	CHK'D

DWG. No. 4832-6\_REC  
BK. #597, PG. #28

FOR PERMITTING ONLY  
NOT FOR CONSTRUCTION



- PROPOSED**
- 34x0 PROPOSED SPOT ELEVATION
  - ALUMINUM RAILING
  - PERFORATED ALUMINUM FENCE
  - PROPOSED BUILDING OVERHANG
  - PROPOSED LIMIT OF WORK
  - PROPOSED GRANITE CURB
  - PROPOSED DRAIN MANHOLE
  - PDMH PROPOSED ELECTRIC TRANSFORMER
  - TR PROPOSED POLE LIGHT
  - ART PROPOSED ART DISPLAY
  - PROPOSED CONCRETE PAVERS
  - PROPOSED CONCRETE PAVERS OVER PLAZA DECK
  - PROPOSED CONCRETE SIDEWALK
- R= RIM ELEVATION  
PCC PROPOSED PRECAST CONCRETE CURB  
LS PROPOSED LANDSCAPE AREA  
ART PROPOSED ART DISPLAY  
B PROPOSED BIKE RACK  
BO BY OTHERS  
TYP TYPICAL  
PROP PROPOSED  
PCC PROPOSED GRANITE CURB  
PFF PROPOSED FINISHED FIRST FLOOR  
PUGF PROPOSED UPPER GARAGE FLOOR  
PLGF PROPOSED LOWER GARAGE FLOOR  
WCR WHEELCHAIR RAMP  
EXIST EXISTING  
CONC CONCRETE

SEE SHEET 2 OF 8 FOR EXISTING NOTES AND LEGEND

- NOTES:**
- SEE SHEET 5 AND 6 FOR LANDSCAPE PLAN, NOTES, AND DETAILS.
  - EXISTING SIDEWALKS WITHIN THE LIMIT OF WORK TO BE REBUILT PER DETAIL ON SHEET 7.
  - WHERE EXISTING SIDEWALK IS REBUILT, ASSOCIATED GRANITE CURB TO BE RETAINED WHERE FEASIBLE. SEE SHEET 7 FOR DETAIL OF NEW CURB.
  - SEE ARCHITECTURAL DRAWINGS FOR CONCRETE PAVER DETAILS.
- ZONING NOTES:**
- PROPERTY IS LOCATED IN THE CC ZONING DISTRICT (CENTRAL BUSINESS DISTRICT), AND IN THE CC OVERLAY DISTRICT. LOTS 86, 87 AND 88 ARE LOCATED IN THE DEPOT PARKING OVERLAY DISTRICT.
  - MINIMUM LOT FRONTAGE REQUIRED IS 50 FEET.
  - MAXIMUM BUILDING HEIGHT IS 55 FEET, OR UP TO 75 FEET WITH SPECIAL PERMIT.
  - THE PROJECT SITE WILL HAVE 180.42 FEET OF FRONTAGE ON RAILROAD AVENUE.
  - PROPOSED BUILDING TO BE 72.5 FEET IN HEIGHT AND WILL REQUIRE A SPECIAL PERMIT.

**PARKING TABLE:**

**REQUIRED:**

115 RESIDENTIAL UNITS  
1 SPACE PER EACH RESIDENTIAL UNIT = 115 SPACES\*

7,714 SF RETAIL SPACE GROSS FLOOR AREA  
1 SPACE PER 275 SF OF GROSS FLOOR AREA = 29 SPACES

**TOTAL REQUIRED = 144 SPACES**

**PROVIDED:**

**SITE:**

LOWER GARAGE  
REGULAR PARKING SPACE = 49 SPACES  
COMPACT PARKING SPACE = 9 SPACES  
HANDICAP PARKING SPACES = 3 SPACES

UPPER GARAGE  
REGULAR PARKING SPACE = 43 SPACES  
COMPACT PARKING SPACE = 8 SPACES  
HANDICAP PARKING SPACES = 3 SPACES (INCLUDES 1 VAN)

**TOTAL ON SITE = 115 SPACES**

COMPACT PARKING SPACES LESS THAN 25% OF THE TOTAL ON SITE PARKING SPACES AS ALLOWED BY SECTION 300-64(B)(2)

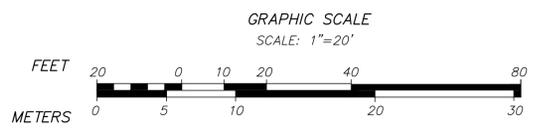
5 ADA ACCESSIBLE SPOTS ARE REQUIRED PER ADA. 6 ARE BEING PROVIDED, 1 FOR EACH ACCESSIBLE RESIDENTIAL UNIT.

**STREET:**

RAILROAD AVE ABUTTING PARCEL FRONTAGE = 32 SPACES

\*SPECIAL PERMIT REQUESTED UNDER SECTION 300-59D TO AUTHORIZE ONE (1) ON-SITE PARKING SPACE FOR ALL 2-BEDROOM DWELLING UNITS IN THE PROJECT, CONSISTENT WITH THE PARKING REQUIREMENT IN THE DEPOT OVERLAY DISTRICT

**TOTAL PROVIDED = 147 SPACES**



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(XREF: 4832-6\_REC)  
DWG. No. 4832-6\_SITE

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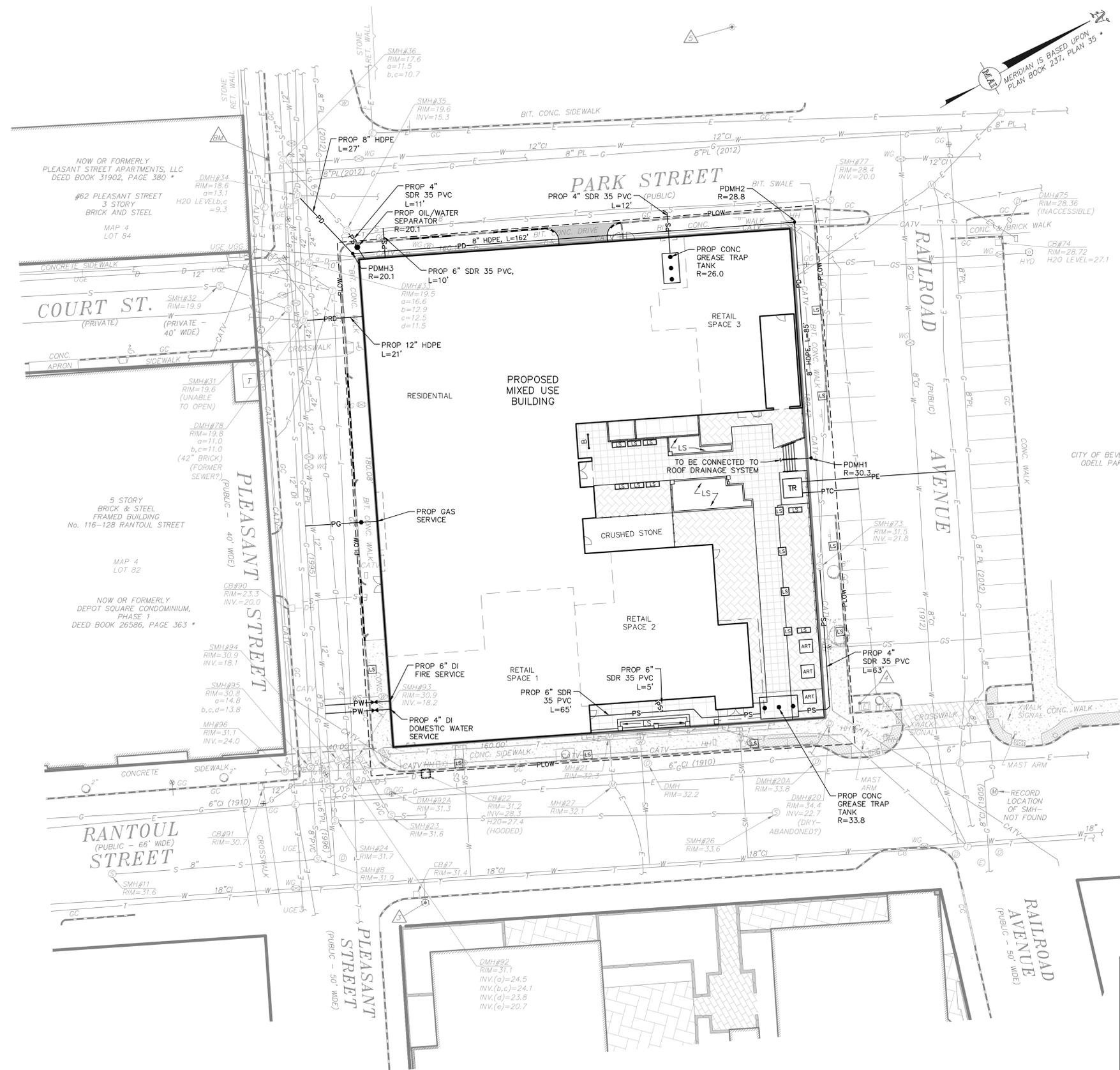
134-142-146 RANTOUL STREET  
AND 1-9 PARK STREET

PERMIT SITE PLAN  
(TO ACCOMPANY A SITE PLAN REVIEW AND SPECIAL PERMIT APPLICATION)  
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DEPOT SQUARE PHASE II, LLC  
SCALE: 1" = 20' DATE: JUNE 10, 2019

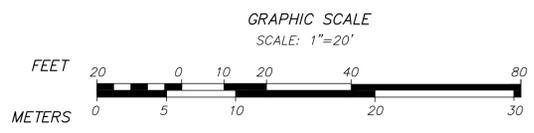
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SHEET No. 3 OF 8 PROJECT No. 4832-6



- PROPOSED**
- ALUMINUM RAILING
  - PERFORATED ALUMINUM FENCE
  - PROPOSED BUILDING OVERHANG
  - PROPOSED LIMIT OF WORK
  - PROPOSED GRANITE CURB
  - PROPOSED DRAIN LINE
  - PROPOSED ROOF DRAIN LINE
  - PROPOSED DRAIN MANHOLE
  - PROPOSED SEWER LINE
  - PROPOSED TELEPHONE/CABLE
  - PROPOSED ELECTRIC CONDUIT
  - PROPOSED ELECTRIC TRANSFORMER
  - PROPOSED WATER LINE
  - PROPOSED WATER GATE
  - PROPOSED GAS LINE
  - PROPOSED GAS GATE
  - PROPOSED POLE LIGHT
  - PROPOSED CATCH BASIN FILTER
  - PROPOSED ART DISPLAY
  - PROPOSED CONCRETE DRIVEWAY
  - PROPOSED PIPE LENGTH
  - RIM ELEVATION
  - PROPOSED LANDSCAPE AREA
  - PROPOSED ART DISPLAY
  - PROPOSED BIKE RACK
  - BY OTHERS
  - TYPICAL
  - PROPOSED
  - PVC POLYVINYL CHLORIDE

SEE SHEET 2 OF 8 FOR EXISTING NOTES AND LEGEND



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NOT FOR CONSTRUCTION

(XREF: 4832-6\_REC)  
DWG. No. 4832-6\_SITE

REVISIONS				
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134-142-146 RANTOUL STREET  
AND 1-9 PARK STREET  
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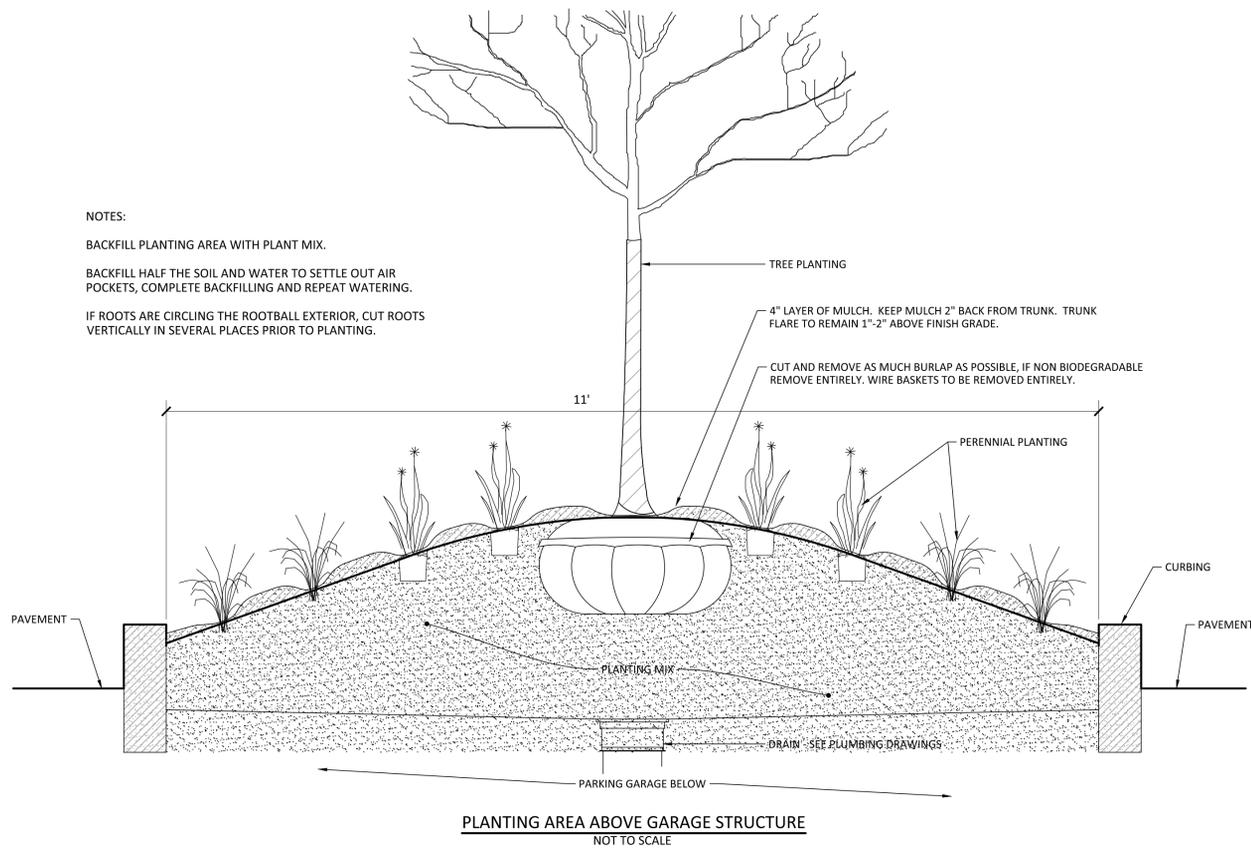
**MERIDIAN ASSOCIATES**

500 CUMMINGS CENTER, SUITE 5950      69 MILK STREET, SUITE 302  
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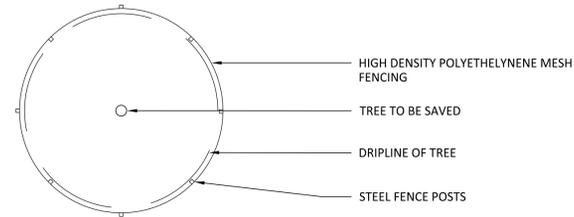
SHEET No. 4 OF 8      PROJECT No. 4832-6



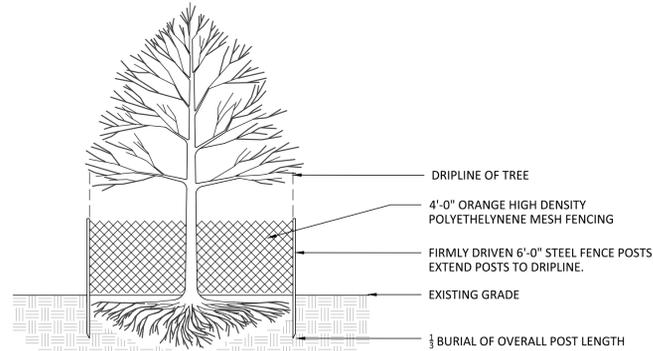
NOTES:  
 BACKFILL PLANTING AREA WITH PLANT MIX.  
 BACKFILL HALF THE SOIL AND WATER TO SETTLE OUT AIR POCKETS, COMPLETE BACKFILLING AND REPEAT WATERING.  
 IF ROOTS ARE CIRCLING THE ROOTBALL EXTERIOR, CUT ROOTS VERTICALLY IN SEVERAL PLACES PRIOR TO PLANTING.



**PLANTING AREA ABOVE GARAGE STRUCTURE**  
 NOT TO SCALE

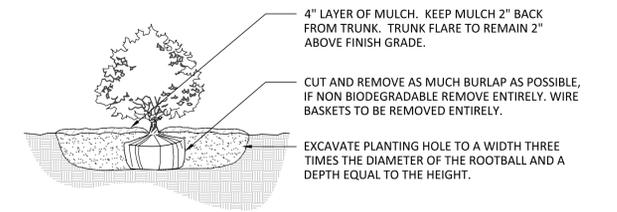


PLAN



SECTION

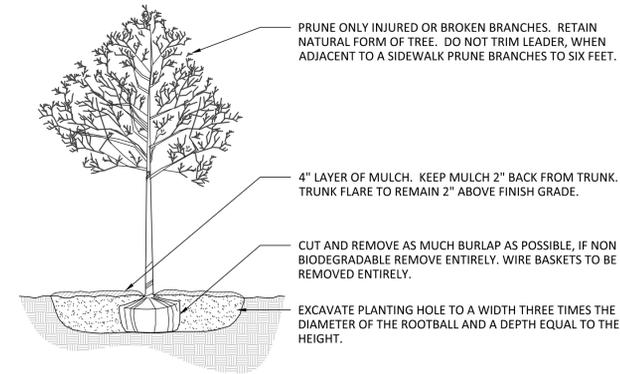
**TREE PROTECTION**  
 NOT TO SCALE



NOTES:

BACKFILL PLANTING HOLE WITH EXISTING SOIL AMENDED AS NECESSARY.  
 BACKFILL HALF THE SOIL AND WATER TO SETTLE OUT AIR POCKETS, COMPLETE BACKFILLING AND REPEAT WATERING.  
 IF ROOTS ARE CIRCLING THE ROOTBALL EXTERIOR, CUT ROOTS VERTICALLY IN SEVERAL PLACES PRIOR TO PLANTING.

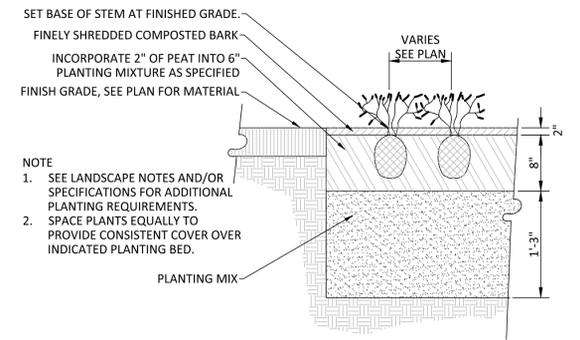
**SHRUB PLANTING**  
 (NOT TO SCALE)



NOTES:

BACKFILL PLANTING HOLE WITH EXISTING SOIL AMENDED AS NECESSARY.  
 BACKFILL HALF THE SOIL AND WATER TO SETTLE OUT AIR POCKETS, COMPLETE BACKFILLING AND REPEAT WATERING.  
 IF ROOTS ARE CIRCLING THE ROOTBALL EXTERIOR, CUT ROOTS VERTICALLY IN SEVERAL PLACES PRIOR TO PLANTING.  
 ONLY STAKE TREES SITUATED ON WINDY SITES OR EXPOSED TO SUBSTANTIAL PEDESTRIAN TRAFFIC.

**TREE PLANTING**  
 NOT TO SCALE



NOTE

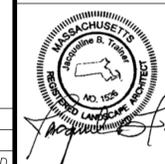
- SEE LANDSCAPE NOTES AND/OR SPECIFICATIONS FOR ADDITIONAL PLANTING REQUIREMENTS.
- SPACE PLANTS EQUALLY TO PROVIDE CONSISTENT COVER OVER INDICATED PLANTING BED.

**GROUNDCOVER / ANNUAL / PERENNIAL PLANTING**  
 (NOT TO SCALE)

134-142-146 RANTOUL STREET  
 AND 1-9 PARK STREET

PERMIT LANDSCAPE DETAILS  
 (TO ACCOMPANY A SITE PLAN REVIEW AND SPECIAL PERMIT APPLICATION)  
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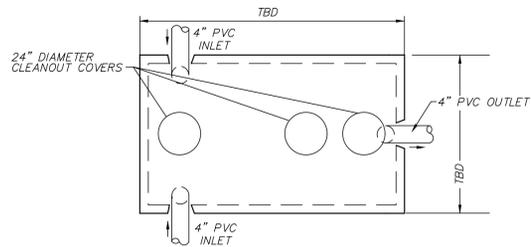
SHEET No. 6 OF 8 PROJECT No. 4832-6

REVISIONS

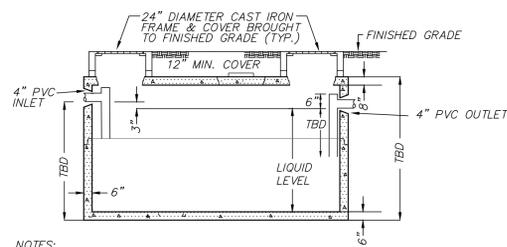
NO.	DATE	DESCRIPTION	BY	CHK'D

DWG. No. 4832-6\_LAND-DET

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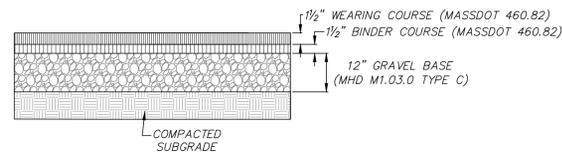


**PLAN VIEW**



**SIDE VIEW**

**GREASE TRAP DETAIL**  
(NOT TO SCALE)

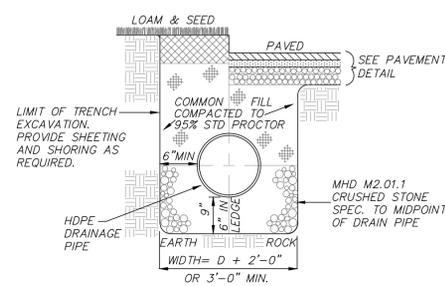


**NOTE:**

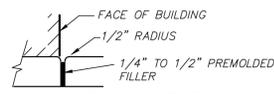
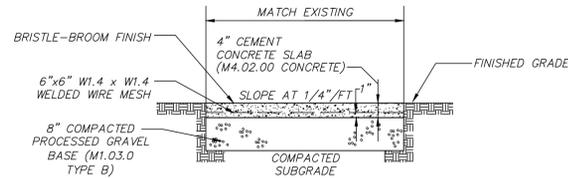
1. PROP. 3" CLASS 1 BIT. CONC. PAVEMENT 1-1 PLACED IN TWO COURSES (1-1/2" TOP OVER 1-1/2" BINDER PER MASSDOT STANDARD SPECIFICATIONS.
2. THESE SPECIFICATIONS ARE MINIMUMS. PROPOSED PAVEMENT SECTION TO MATCH OR EXCEED EXISTING CONDITIONS.

**BITUMINOUS CONCRETE PAVEMENT SECTION**

(NOT TO SCALE)



**DRAIN TRENCH**  
(NOT TO SCALE)



**EXPANSION JOINT**

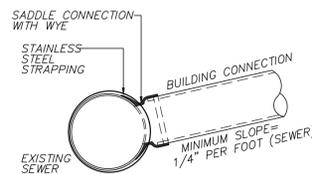


**CONSTRUCTION CONTROL JOINT**

NOTE: TYPICAL EXPANSION JOINT SPACING EVERY 20' O.C. TYPICAL CONTROL JOINT SPACING EVERY 5' O.C.

**CEMENT CONCRETE SIDEWALK**

(NOT TO SCALE)

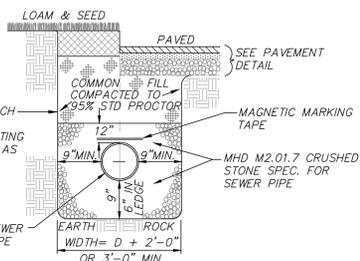


**NOTES:**

1. FULL PVC OR IRON SADDLE MAY BE USED TO CONNECT TO EXISTING PVC, CLAY, CONCRETE, OR IRON PIPE
2. SADDLES MUST HAVE RUBBER GASKETS AND SHALL BE TIGHTENED WITH STRAPS. SADDLES WILL NOT BE CEMENTED ONTO THE PIPE.
3. FULL WYE CONNECTION FITTINGS MAY BE USED.
4. PIPE SHALL BE CUT TO CONFORM TO THE OPENING IN THE SADDLE.
5. CONNECTIONS DIRECTLY INTO THE EXISTING PIPE WITHOUT A SADDLE OR FULL WYE FITTING ARE NOT ALLOWED.
6. BUILDING CONNECTIONS SHALL BE BEDDED IN 3/4" MIN CRUSHED STONE TO AT LEAST HALF THE PIPE DIAMETER.

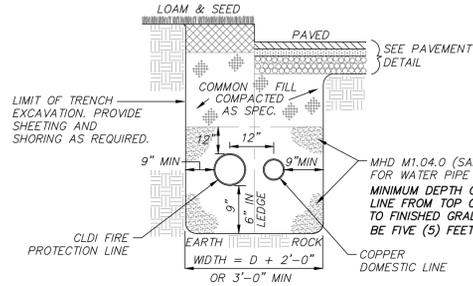
**SEWER CONNECTION DETAIL**

(NOT TO SCALE)



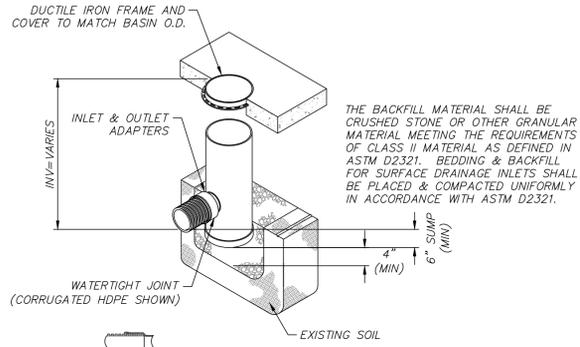
**SEWER TRENCH DETAIL**

(NOT TO SCALE)



**WATER SERVICE TRENCH**

(NOT TO SCALE)



**NOTE:**

1. PROVIDE 24" NYLOPLAST DRAIN BASIN OR EQUAL. BASIN TO BE MANUFACTURED FROM PVC PIPE STOCK.
2. FRAMES AND GRATES SHALL BE DUCTILE IRON AND COMPLY TO H-20 LOADING CAPACITY.
3. DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE.

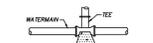
**PROPOSED DRAIN MANHOLE**  
(NOT TO SCALE)



**BEND-PLAN**



**PLUG ELEVATION**



**TEE-PLAN**

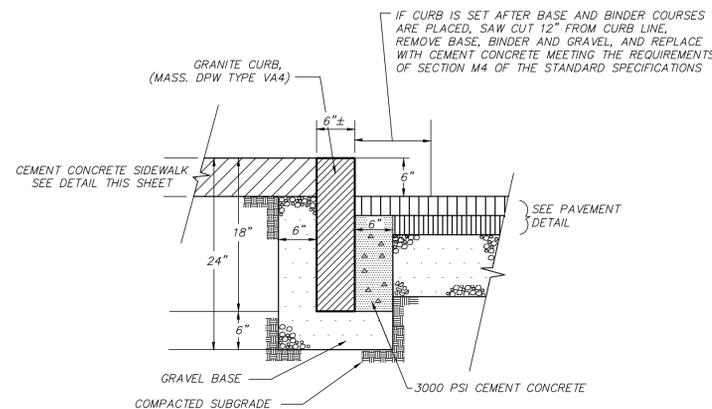
**NOTE:**

- 1) CONCRETE FOR THRUST BLOCKS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI AT 28 DAYS
- 2) THRUST BLOCK BEARING AREAS TO BE IN ACCORDANCE WITH TABLE BELOW, UNLESS DETERMINED OTHERWISE BY THE ENGINEER BECAUSE OF SOIL CONDITIONS

DIAMETER MAIN (IN.)	TEE	90° BEND	45° BEND	PLUG
4	4	4	4	4
6	4	4	4	4
8	4	6	4	6
10	6	8	6	8
12	8	12	6	12

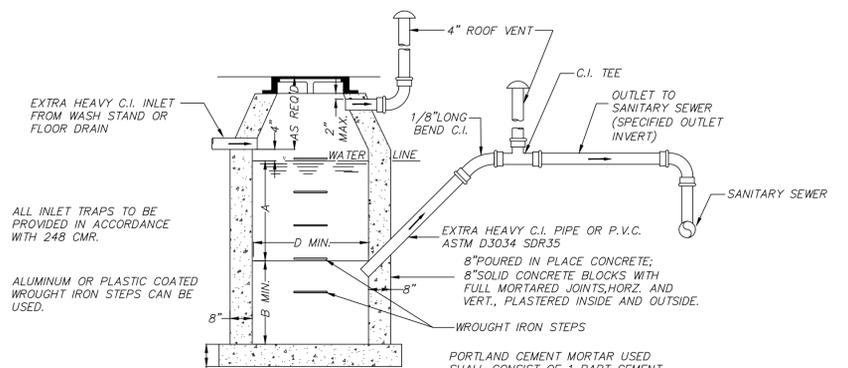
**THRUST BLOCK DETAIL**

(NOT TO SCALE)



**GRANITE CURB DETAIL**

(NOT TO SCALE)

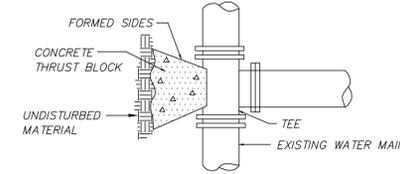


**NOTES:**

1. THIS DETAIL IS SHOWN FOR SCHEMATIC PURPOSES ONLY, REFER TO MEP PLANS FOR DETAIL.
2. FOR INLETS LARGER THAN 10" THE DESIGN AND DIMENSIONS WILL BE DETERMINED FOR EACH PARTICULAR CASE.
3. PRE-CAST SEPARATORS ARE TO HAVE ALL SPECIFIED HOLES EITHER CORE-BORED OR CAST IN PLACE TO THE PLUMBING DRAWINGS FOR THE INSIDE DIMENSIONS OF THE OIL/WATER SEPARATOR

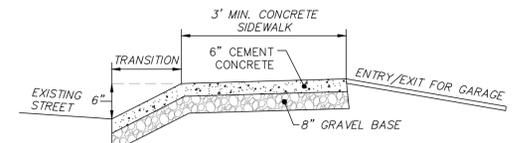
**OIL/WATER SEPARATOR**

(NOT TO SCALE)



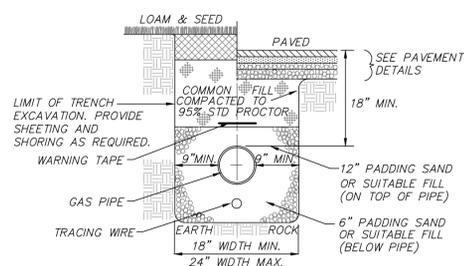
**TEE CONNECTION TO WATER MAIN**

(NOT TO SCALE)



**DRIVEWAY ENTRY PROFILE**

(NOT TO SCALE)



**GAS TRENCH DETAIL**

(NOT TO SCALE)

**REVISIONS**

NO.	DATE	DESCRIPTION	BY	CHK'D

(XREF: 4832-6\_REC)  
DWG. No. 4832-6\_DET

FOR PERMITTING ONLY  
NOT FOR CONSTRUCTION

134-142-146 RANTOUL STREET  
AND 1-9 PARK STREET

**PERMIT DETAILS**  
(TO ACCOMPANY A SITE PLAN REVIEW AND SPECIAL PERMIT APPLICATION)  
LOCATED IN  
**BEVERLY, MASSACHUSETTS**  
(ESSEX COUNTY)

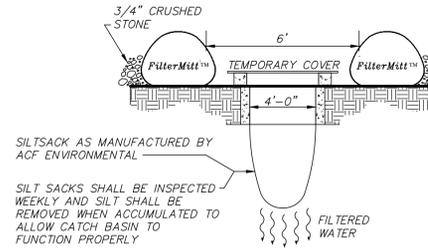
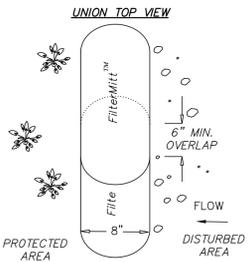
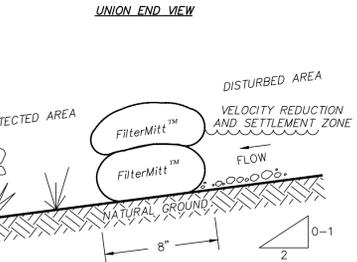
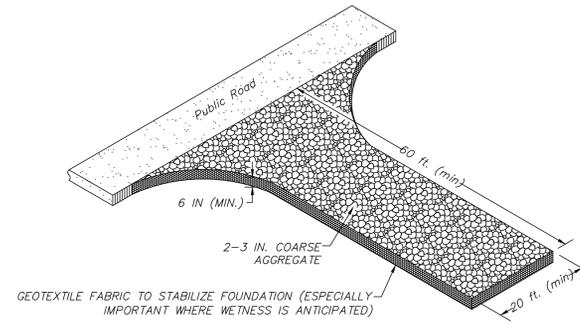
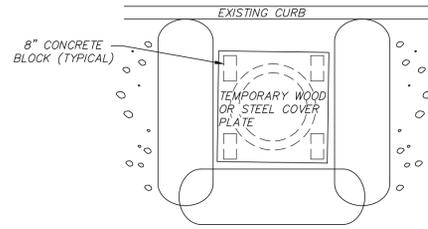
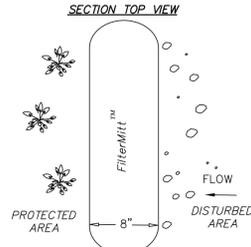
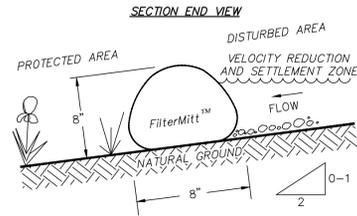
PREPARED FOR  
**DEPOT SQUARE PHASE II, LLC**  
SCALE: NOT TO SCALE DATE: JUNE 10, 2019

**MERIDIAN ASSOCIATES**

500 CUMMINGS CENTER, SUITE 5950 WESTBOROUGH, MASSACHUSETTS 01581  
BEVERLY, MASSACHUSETTS 01915 WESTBOROUGH, MASSACHUSETTS 01581  
TELEPHONE: (978) 299-0447 TELEPHONE: (508) 871-7030  
WWW.MERIDIANASSOC.COM



SHEET No. 7 OF 8 PROJECT No. 4832-6



**CATCH BASIN FILTER DETAIL**  
(NOT TO SCALE)

**FilterMitt™ COMPONENTS:**

- OUTSIDE CASING: 100% organic hessian.
- FILLER INGREDIENT: FiberRoot Mulch™
- A BLEND OF COARSE AND FINE COMPOST AND SHREDDED WOOD.
- PARTICLE SIZES: 100% PASSING A 3" SCREEN; 90-100% PASSING A 1" SCREEN; 70-100% PASSING A 0.75" SCREEN; 30-75% PASSING A 0.25" SCREEN.
- WEIGHT: APPROX. 310 LBS./CU.YD. (AVE. 11.5 LBS./L.F.)

**FilterMitt™ INSTALLATION:**

- WITH THE NEWEST TECHNOLOGY AND EQUIPMENT, SECTIONS CAN BE CONSTRUCTED ON SITE IN LENGTHS FROM 1' TO 100'.
- SECTIONS CAN ALSO BE DELIVERED TO THE SITE IN LENGTHS FROM 1' TO 8'.
- THE FLEXIBILITY OF FilterMitt™ ALLOWS IT TO CONFORM TO ANY CONTOUR OR TERRAIN WHILE HOLDING A SLIGHTLY ROUND SHAPE AT 8" HIGH BY 8" WIDE.
- WHERE SECTION ENDS MEET, THERE SHALL BE AN OVERLAP OF 6" OR GREATER.

For more information visit:  
[www.groundscapesexpress.com](http://www.groundscapesexpress.com) or  
contact us at:

**Groundscapes Express, Inc.**

P.O. Box 737  
Wrentham, MA 02093  
(508) 384-7140

**FILTERMITT 2:1 SLOPES OR LESS**

(NOT TO SCALE)

**EROSION CONTROL SEQUENCE**

- LIMITS OF CONSTRUCTION ARE TO BE STAKED OUT AS THE FIRST STEP. NO CONSTRUCTION EQUIPMENT IS ALLOWED BEYOND THE LIMITS AS STAKED. THE AREA BEYOND THE LIMITS OF CONSTRUCTION IS TO REMAIN UNDISTURBED.
- PLACE EROSION CONTROL SOCK AT LIMITS OF CONSTRUCTION AND AT TOE OF FUTURE SLOPES AS SHOWN ON THE SITE PLANS.
- AREAS OF DISTURBANCE TO BE KEPT TO A MINIMUM. THE AMOUNT OF TIME AN AREA IS LEFT UNSTABILIZED WILL BE KEPT TO A MINIMUM.
- NO MORE THAN 14 DAYS AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED ON A PORTION OF THE PROJECT, STABILIZE THAT DISTURBED AREA WITH TEMPORARY SEEDING, TEMPORARY MULCHING, SOD, HYDROSEED, JUTE NETTING, ETC. AS CONDITIONS WARRANT.
- LEAVE TEMPORARY EROSION CONTROL IN PLACE UNTIL ALL DISTURBED AREAS ARE REVEGETATED.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION AND ARE TO BE PERIODICALLY INSPECTED AND REPAIRED OR REPLACED AS NECESSARY THROUGHOUT THE PROJECT CONSTRUCTION.

134-142-146 RANTOUL STREET  
AND 1-9 PARK STREET

**PERMIT DETAILS**  
(TO ACCOMPANY A SITE PLAN REVIEW AND SPECIAL PERMIT APPLICATION)  
LOCATED IN  
**BEVERLY, MASSACHUSETTS**  
(ESSEX COUNTY)

PREPARED FOR  
**DEPOT SQUARE PHASE II, LLC**  
SCALE: NOT TO SCALE DATE: JUNE 10, 2019

**MERIDIAN ASSOCIATES**

500 CUMMINGS CENTER, SUITE 5950 BEVERLY, MASSACHUSETTS 01915  
69 MILK STREET, SUITE 302 WESTBOROUGH, MASSACHUSETTS 01581  
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SHEET No. 8 OF 8 PROJECT No. 4832-6



**REVISIONS**

NO.	DATE	DESCRIPTION	BY	CHK'D

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DWG. No. 4832-6\_DET

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