

PLAN REFERENCES
 RECORD OWNER & DEED: MJP PROPERTIES, INC.
 ESRD BK. 37028, PG. 516

RECORD PLANS:
 ESRD PLAN BK. 27, PLAN 8
 ESRD PLAN BK. 74, PLAN 17
 ESRD PLAN BK. 117, PLAN 70
 ESRD PLAN BK. 168, PLAN 44
 ESRD PLAN BK. 176, PLAN 48

PLAN NOTES:
 1) ZONING DISTRICT: R-10

MINIMUM AREA = 10,000 SF
 MINIMUM FRONTAGE = 100'
 MINIMUM FRONT YARD = 20'
 MINIMUM SIDE YARD = 15'
 MINIMUM REAR YARD = 25'

2) FEMA FLOOD MAP NO. 25009C0417G DATED 7/16/14 INDICATES THAT THE SITE IS LOCATED WITHIN A ZONE X, WHICH IS AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD BOUNDARY.

3) EXISTING CONDITIONS SURVEY PERFORMED BY KANE LAND SURVEYORS OF SOUTH HAMILTON, MA ON DECEMBER 10, 2018.

4) ELEVATIONS ARE ON ASSUMED DATUM.

5) ON-SITE WETLANDS FLAGGED BY RIMMER ENVIRONMENTAL ASSOCIATES ON NOVEMBER 30, 2018.

6) OFF-SITE WETLAND SCALED FROM DEFINITIVE PLAN FOR TRASK LANE (SHEET 6 OF 6) BY HAYES ENGINEERING INC. OF WAKEFIELD, MA, DATED JANUARY 12, 2017.

LEGEND

	PROPERTY LINE
	100' BUFFER ZONE
	50' NO-BUILD ZONE
	25' NO-DISTURB ZONE
	WETLAND
	CONTOUR
	EDGE OF PAVEMENT
	BUILDING
	WATER LINE
	SEWER LINE
	TELEPHONE POLE
	GAS LINE
	SPOT GRADE
	LEDGE
	TREELINE
	TREE W/CALIPER
	TEST PIT
	STONEWALL

I CERTIFY THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

DATE _____

FOR REGISTRY USE ONLY

_____, CLERK OF THE CITY OF BEVERLY, MA, CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE BEVERLY PLANNING BOARD HAS BEEN RECEIVED AND RECORDED IN THIS OFFICE AND THAT NO APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER SUCH RECEIPT AND RECORDING.

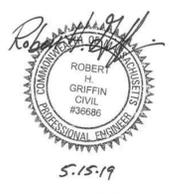
BEVERLY CITY CLERK _____ DATE _____

BEVERLY PLANNING BOARD

DATE: _____

No.	Date	Description
1	5/15/19	ADD TREES

Revisions



495 Cabot Street, 2nd Floor
 Beverly, MA 01915
 Tel: 978-927-5111
 Fax: 978-927-5103

DEFINITIVE SUBDIVISION PLAN
 53 WILLIAMS ST
 BEVERLY, MA

EXISTING CONDITIONS

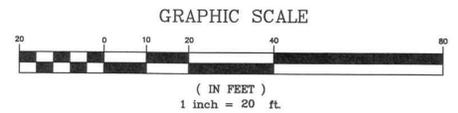
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Job No.:

File Name:

Date: 3/11/19

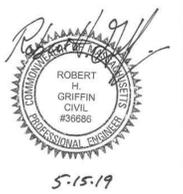
C-1



DATE:

No.	Date	Description
2	5/15/19	REV. DRAINAGE EASEMENT
4	4/26/19	REV. PRIVATE WAY LAYOUT; REV UTILITY & DRAINAGE EASEMENTS

Revisions



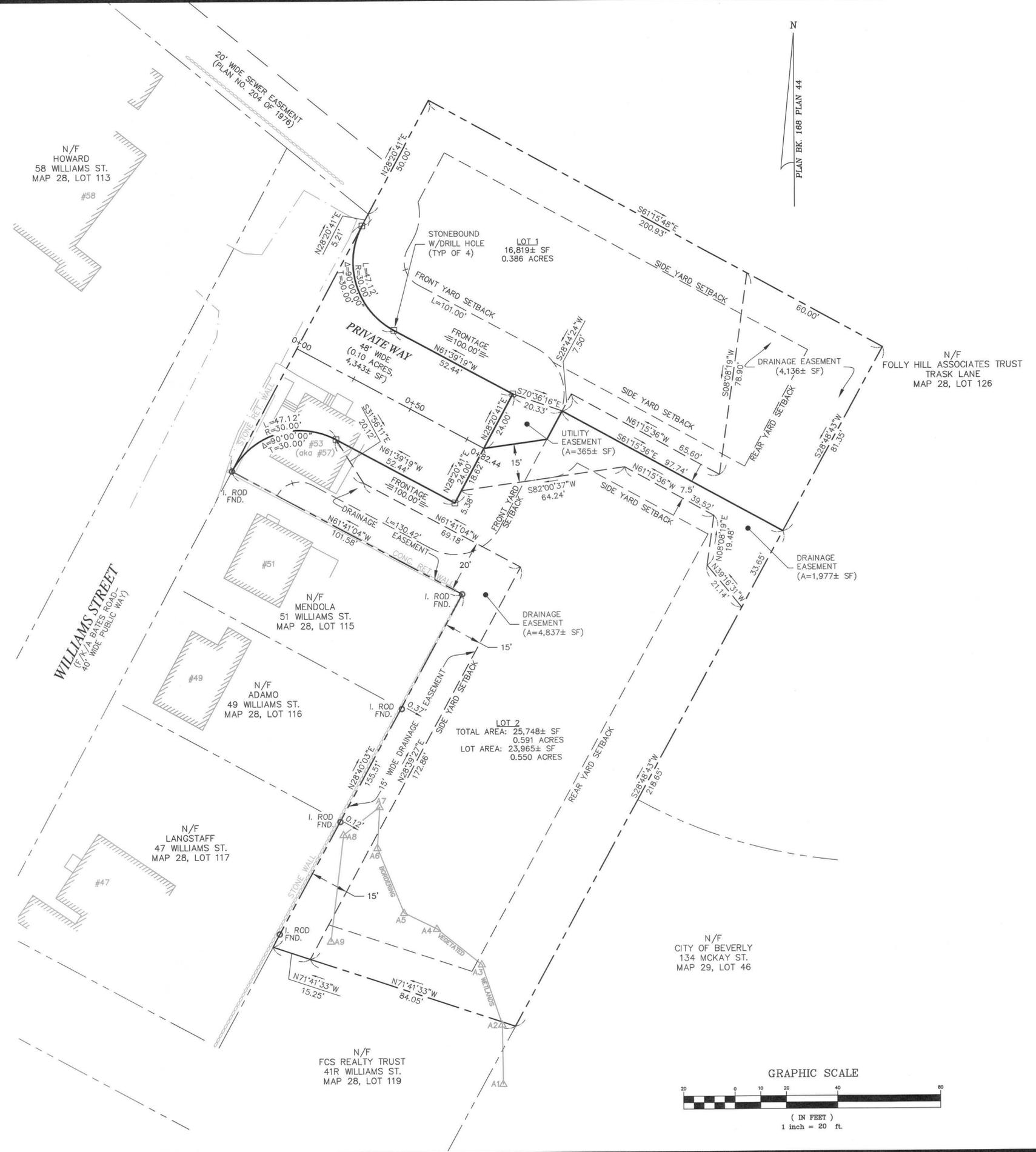
495 Cabot Street, 2nd Floor
Beverly, MA 01915
Tel: 978-927-5111
Fax: 978-927-5103

DEFINITIVE
SUBDIVISION PLAN
53 WILLIAMS ST
BEVERLY, MA

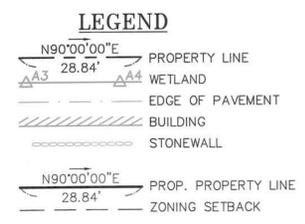
PLAN OF LAND

Scale: 1"=20'
Job No.:
File Name:
Date: 3/11/19

C-2



SHEET NOTES
1. THE PROPOSED BUILDING FOOTPRINTS AND LAYOUTS ARE CONCEPTUAL AND SUBJECT TO CHANGE.
2. REFER TO SHEET C-1 FOR PLAN NOTES AND SHEET C-3 FOR GENERAL NOTES.



PLAN REFERENCES
RECORD OWNER & DEED: MJP PROPERTIES, INC.
78 ESSEX STREET, MIDDLETON, MA
ESRD BK. 37028, PG. 516

RECORD PLANS: ESRD PLAN BK. 27, PLAN 8
ESRD PLAN BK. 74, PLAN 17
ESRD PLAN BK. 117, PLAN 70
ESRD PLAN BK. 168, PLAN 44
ESRD PLAN BK. 176, PLAN 48

ZONING DISTRICT: RESIDENTIAL R-10
MINIMUM AREA = 10,000 SF
MINIMUM FRONTAGE = 100'
MINIMUM FRONT YARD = 20'
MINIMUM SIDE YARD = 15'
MINIMUM REAR YARD = 25'

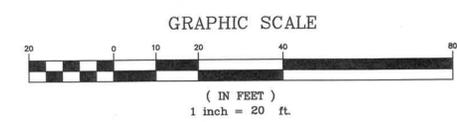
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BEVERLY CITY CLERK _____ DATE _____

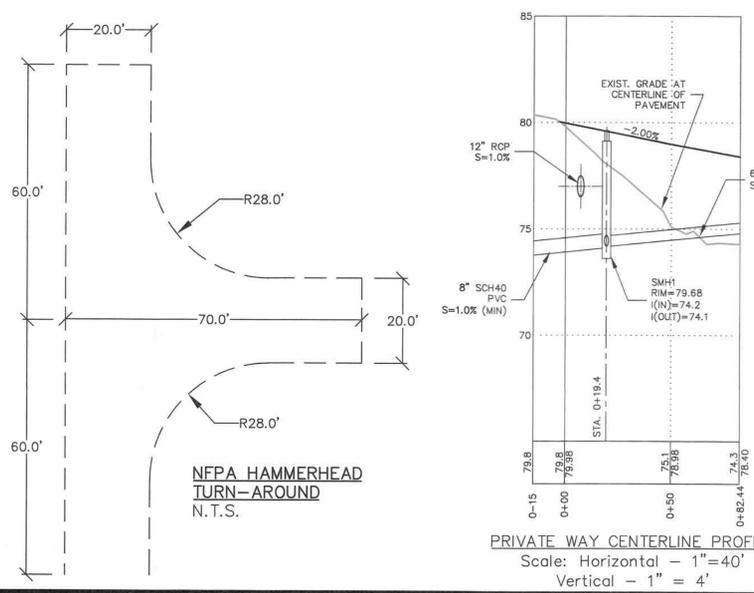


GENERAL NOTES

1. THE LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES SHALL BE CONSIDERED APPROXIMATE AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION. ANY DISCREPANCIES IN THE LOCATION OF ANY UTILITIES SHOWN OR ENCOUNTERED DURING CONSTRUCTION SHALL BE REPORTED TO THE ENGINEER.
2. THE CONTRACTOR SHALL CALL DIG-SAFE 72 HOURS PRIOR TO CONSTRUCTION TO INFORM UTILITY COMPANIES OF ANY EXCAVATION ADJACENT TO EXISTING UTILITIES.
3. THE CONTRACTOR SHALL NOTIFY THE OWNER, UTILITY COMPANIES, POLICE, FIRE AND DPW PRIOR TO ANY BLASTING.
4. WHENEVER EXISTING STRUCTURES ARE ENCOUNTERED, THE CONTRACTOR SHALL REPAIR ANY DAMAGED STRUCTURES OR REPLACE ANY REMOVED STRUCTURES, AND MAKE ANY IMPROVEMENTS ABOVE OR BELOW GRADE TO A CONDITION BETTER THAN OR EQUAL TO EXISTING CONDITIONS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF ALL WASTE MATERIAL AT AN APPROVED SITE. BURIAL OF WASTE MATERIAL ON-SITE IS NOT PERMITTED.
6. THE CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES FROM ON-SITE CONSTRUCTION ACTIVITIES AND REMOVE ANY SEDIMENT OR DEBRIS DEPOSITED THEREON IMMEDIATELY.
7. DRAINAGE GENERATED AS A RESULT OF DEWATERING SHALL BE DISCHARGED TO EXISTING DRAINAGE COURSES WITH PROPER FILTRATION AND EROSION CONTROL MEASURES. DISCHARGE ONTO PAVEMENT OR PRIVATE PROPERTY SHALL NOT BE ALLOWED.
8. IF ANY PART OF THIS DESIGN IS TO BE ALTERED IN ANY WAY, THE ENGINEER AS WELL AS THE APPROVING AUTHORITIES SHALL BE NOTIFIED IN WRITING BEFORE CONSTRUCTION.
9. ONLY THOSE PLANS APPROVED BY THE CITY OF BEVERLY ARE TO BE USED FOR CONSTRUCTION.
10. GRANULAR FILL SHALL BE NON-PLASTIC, WITH LESS THAN 10% PASSING #200 SIEVE.
11. UNLESS OTHERWISE NOTED, COMPACT ALL LAYERS TO 95% MODIFIED PROCTOR.
12. ALL WATER, SEWER, AND DRAINAGE WORK SHALL COMPLY WITH THE CITY OF BEVERLY REQUIREMENTS. ALL WORK WITHIN 10' OF THE PROPOSED RESIDENCE TO CONFORM TO MASSACHUSETTS BUILDING CODE, AND ANY LOCAL BOARD OF HEALTH SUPPLEMENTARY REGULATIONS.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HORIZONTAL AND VERTICAL CONTROL OF ALL SYSTEM COMPONENTS.
14. SAFETY MEASURES, DAY-TO-DAY CONTROL OF WORK AND CONSTRUCTION METHODS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
15. PLACE 4" LOAM AND SUNNY LAWN SEED MIXTURE (200 LB/ACRE), STARTER FERTILIZER, LIME AS REQUIRED OVER ALL DISTURBED AREAS. PROVIDE EROSION CONTROL SEED MIX AND BLANKETS ON 2:1 (H:V) EMBANKMENTS SLOPES. SEED MIX TO BE NEW ENGLAND EROSION CONTROL/RESTORATION FOR MOIST SITES BY NEW ENGLAND WETLANDS PLANT, INC. OR APPROVED EQUAL.
16. IN CASES WHERE LEDGE OR BOULDERS ARE PRESENT, THE ENGINEER WILL NOT BE RESPONSIBLE FOR ASSURING THE AMOUNT OF ROCK TO BE ENCOUNTERED.
17. CONTRACTOR TO PROVIDE INDIVIDUAL WATER, SEWER, GAS, ELECTRICAL, TELEPHONE, AND CABLE BUILDING SERVICES TO LOT LINE DURING THE CONSTRUCTION OF THE ROADWAY.
18. PROPOSED RESIDENCE FOOTPRINT, ON-LOT UTILITIES AND GRADING ARE SHOWN FOR CONCEPTUAL PURPOSES ONLY.
19. PRIOR TO SITE WORK START-UP/DEMOLITION AND DURING SITE CONSTRUCTION, THE CONTRACTOR SHALL EMPLOY A LICENSED PEST CONTROL FIRM FOR SITE EVALUATION AND SERVICES. A COPY OF THE SERVICE PROGRAM IS TO BE SENT TO THE CITY OF BEVERLY HEALTH DEPARTMENT.
20. SHOULD THE RODENT POPULATION BE DISPLACED (LEAVE ITS NATURAL HABITAT) BECAUSE OF LAND DEVELOPMENT, THEN THE DEVELOPER MUST BEAR THE RESPONSIBILITY TO ABATE THE RODENT MIGRATION PROBLEM. THIS SERVICE MUST ADEQUATELY SOLVE THE PROBLEM AND MUST BE COMPLETED AT THE EXPENSE OF THE DEVELOPER.
21. BEFORE THE DISPOSAL OF SOIL OR SOLID FILL IS INTRODUCED TO THE SITE FROM OFF-SITE LOCATIONS, A VALID SITE ASSIGNMENT FROM THE BEVERLY BOARD OF HEALTH MUST BE OBTAINED.
22. CITY OF BEVERLY REQUIRES THAT FERTILIZERS UTILIZED FOR LANDSCAPING AND LAWN CARE SHALL BE SLOW RELEASE, LOW-NITROGEN TYPES (<5%) AND PHOSPHOROUS FREE, AND SHALL NOT BE USED WITHIN 25'-FT OF A WETLAND RESOURCE AREA.
23. CITY OF BEVERLY REQUIRES THAT PESTICIDES, FUNGICIDES, AND HERBICIDES SHALL NOT BE USED WITHIN 100'-FT OF A WETLAND RESOURCE AREA.

GRADING & DRAINAGE NOTES:

- 1) ALL CATCH BASINS SHALL BE EQUIPPED WITH A GAS/OIL HOOD ON THE DISCHARGE PIPE, PERMANENT INLET FILTER, AND SHALL HAVE A 4' DEEP SUMP IN ACCORDANCE WITH THE MASSACHUSETTS STORMWATER MANAGEMENT POLICY.
- 2) ALL ROOF LEADER PIPES WITHIN 10' OF THE BUILDING SHALL BE CAST IRON TO CONFORM TO MASSACHUSETTS BUILDING CODE AND PLUMBING CODE. ALL ROOF LEADER PIPES BEYOND 10' OF THE BUILDING SHALL BE SDR35 PVC PIPE.
- 3) ALL PIPING WITHIN 10' OF THE BUILDING SHALL CONFORM TO MASSACHUSETTS BUILDING CODE, PLUMBING CODE, OR ELECTRICAL CODE, AS APPROPRIATE.
- 4) PLACE 4" LOAM AND GRASS LAWN SEED MIXTURE (200 LB/ACRE), STARTER FERTILIZER 19-19-19 @ 400 LB/ACRE, DRY MAGNESIUM LIME AT 2,000 LB/ACRE, AND HEAVY BLANKET OF STRAW MULCH (2,000 LB/ACRE MINIMUM) OVER ALL DISTURBED AREAS UNLESS SHOWN OTHERWISE. GRASS AREAS TO BE MAINTAINED, WATERED AND MOWED BY CONTRACTOR UNTIL ACCEPTANCE.



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BEVERLY CITY CLERK _____ DATE _____

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DATE _____

BEVERLY PLANNING BOARD

DATE: _____

No.	Date	Description
Δ 5/15/19		ADD SAVE TREE NOTES; REV. G&D NOTE #1 TO INCLUDE INLET FILTER; REV. DRAINAGE EASEMENT
Δ 4/26/19		REV. PRIVATE WAY LAYOUT; MOVED PROP. LOT 2 HOUSE; MOVED CB1 & ADD CB2 & DMH2; REV. GRADING; ADD GENERAL NOTES 22 & 23; ADD SAW CUT LINE; REV EASEMENTS

Revisions



495 Cabot Street, 2nd Floor
Beverly, MA 01915
Tel: 978-927-5111
Fax: 978-927-5103

DEFINITIVE SUBDIVISION PLAN
53 WILLIAMS ST
BEVERLY, MA

PROPOSED SITE PLAN

Scale: 1"=20'

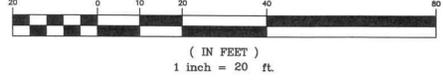
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Date: 3/11/19

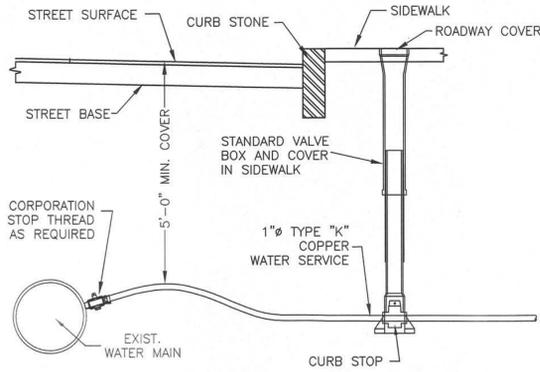
C-3

GRAPHIC SCALE

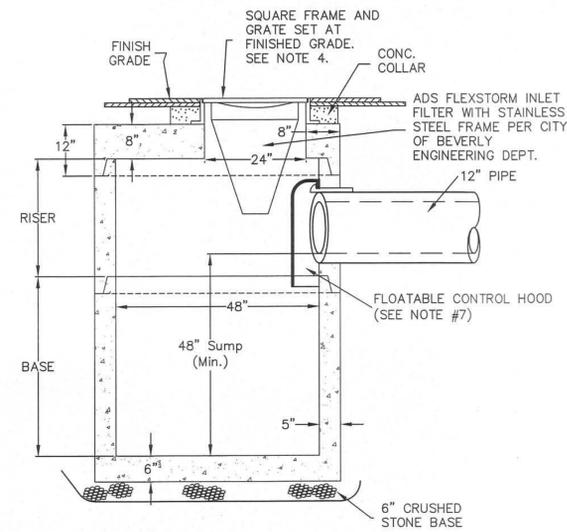


LEGEND

- PROPERTY LINE
- 100' BUFFER ZONE
- 50' NO-BUILD ZONE
- 25' NO-DISTURB ZONE
- Δ A3 Δ A4 WETLAND
- 77 --- CONTOUR
- EDGE OF PAVEMENT
- BUILDING
- W --- WATER LINE
- S --- SEWER LINE
- # U.P. --- TELEPHONE POLE
- G --- GAS LINE
- 79x93 --- SPOT GRADE
- LEDGE
- TREELINE
- 15" TREE W/CALIPER
- TP5 TEST PIT
- STONEWALL
- PROP. PROPERTY LINE
- PROP. EDGE OF PAVEMENT
- PROP. BUILDING
- D --- PROP. DRAIN LINE
- 97 --- PROP. GRADING
- XX --- EROSION CONTROL



TYPICAL WATER CONNECTION FOR 1" SERVICE PIPE
SCALE: N.T.S.



- NOTES:**
1. CONCRETE 4,000 PSI MINIMUM AFTER 28 DAYS.
 2. REINFORCED STEEL SHALL CONFORM TO LATEST ASTM A185 SPEC. 0.12 SQ. IN./LINEAL FT. AND 0.12 SQ. IN. (BOTH WAYS) BASE BOTTOM.
 3. H-20 DESIGN LOADING.
 4. EAST JORDAN IRON WORKS, INC FRAME & GRATE (MA554000002) OR APPROVED EQUIVALENT.
 5. SHEA PRECAST OR APPROVED EQUIVALENT.
 6. TONGUE & GROOVE JOINTS SEALED WITH BUTYL RESIN. BUTYL RESIN.
 7. FLOATABLE CONTROL HOOD SHALL BE THE "SNOUT" (MANUFACTURED BY BMP, INC. LYME, CT) OR APPROVED EQUAL SUCH AS R-3701 HOOD (MANUFACTURED BY NEENAH FOUNDRY, INC., NEENAH, WI) OR "ELIMINATOR" (MANUFACTURED BY GROUNDWATER RESCUE, INC., QUINCY, MA).

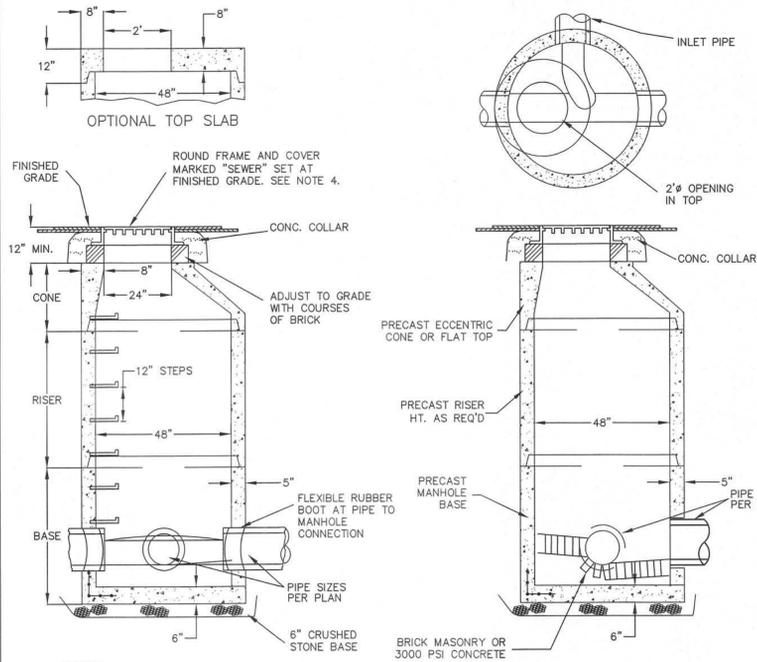
4-ft DIA. PRECAST CATCH BASIN
SCALE: N.T.S.

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BEVERLY CITY CLERK DATE
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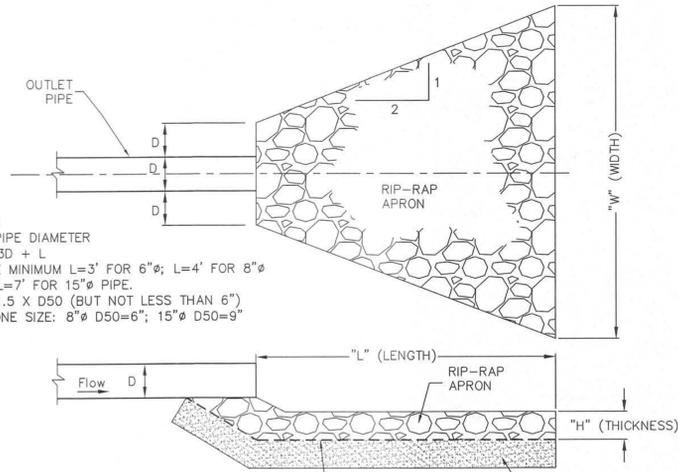
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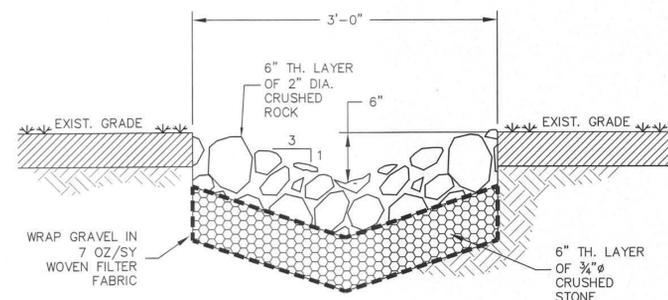
- NOTES:**
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 2. REINFORCED STEEL SHALL CONFORM TO LATEST ASTM A185 SPEC. 0.12 SQ. IN./LINEAL FT. AND 0.12 SQ. IN. (BOTH WAYS) BASE BOTTOM.
 3. H-20 DESIGN LOADING.
 4. EJCO 24" FRAME & SOLID COVER (MARKED SEWER) OR APPROVED EQUIVALENT.
 5. SHEA PRECAST OR APPROVED EQUIVALENT.
 6. TONGUE & GROOVE JOINTS SEALED WITH BUTYL RESIN.

4' DIA. PRECAST SEWER MANHOLE
SCALE: N.T.S.

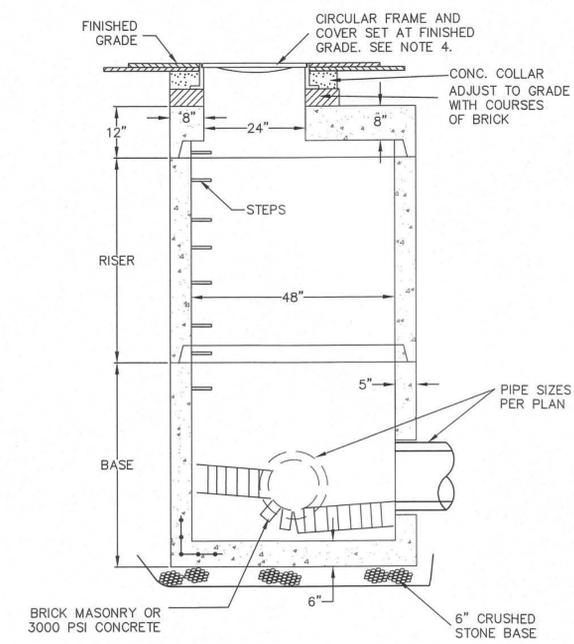


- NOTES:**
- 1) D=PIPE DIAMETER
 - 2) W=3D + L
 - 3) USE MINIMUM L=3' FOR 6"; L=4' FOR 8" PIPE; L=7' FOR 15" PIPE.
 - 4) H=1.5 X D50 (BUT NOT LESS THAN 6")
 - 5) STONE SIZE: 8" D50=6"; 15" D50=9"

RIP-RAP APRON DETAIL
SCALE: N.T.S.

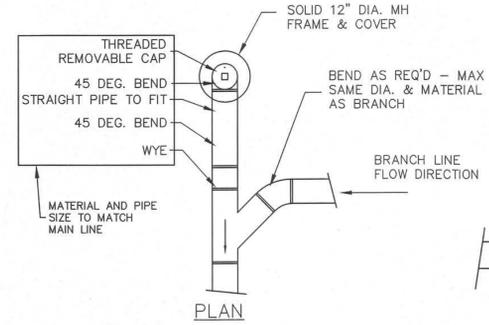


STONE CHANNEL CROSS-SECTION
SCALE: N.T.S.

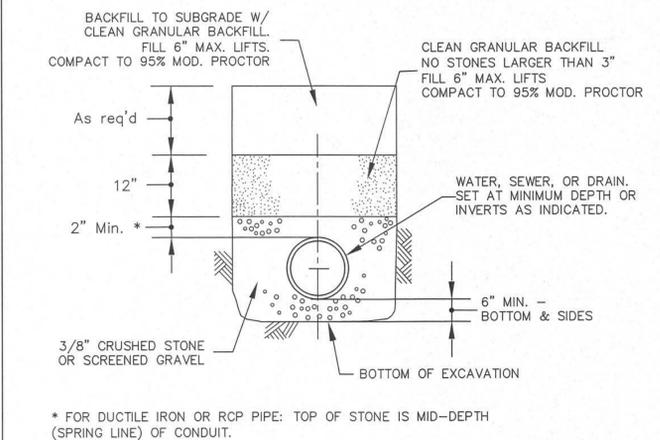
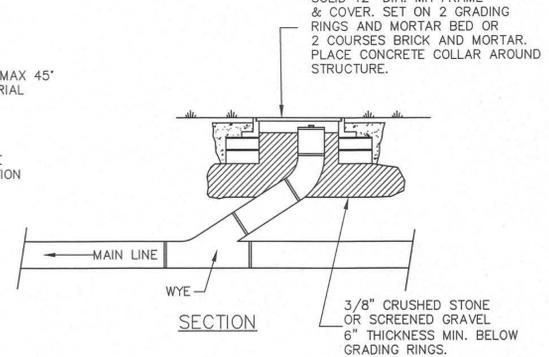


- NOTES:**
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 3. H-20 DESIGN LOADING.
 4. H-20 RATED CAST IRON FRAME AND COVER.
 5. SHEA PRECAST OR APPROVED EQUIVALENT.
 6. TONGUE & GROOVE JOINTS SEALED WITH BUTYL RESIN. BUTYL RESIN.

TYPICAL 4' DIA. PRECAST DRAIN MANHOLE
SCALE: N.T.S.



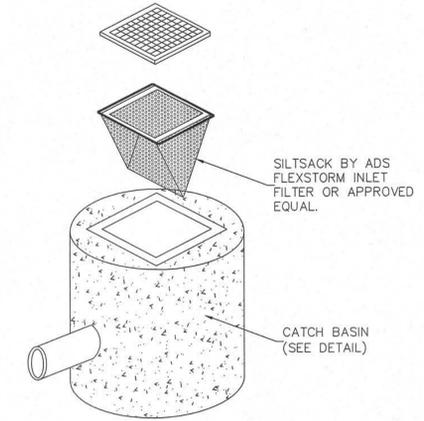
CLEANOUT DETAIL
SCALE: N.T.S.



FULL DEPTH PAVEMENT
SCALE: N.T.S.

TYPICAL PIPE BEDDING SECTION
SCALE: N.T.S.

SILT SACK
SCALE: N.T.S.



- NOTES:**
1. SILT SACKS SHALL BE INSTALLED IN ALL CATCH BASINS UNTIL DRAINAGE AREA HAS BEEN FULLY STABILIZED.

BEVERLY PLANNING BOARD

DATE:

5/15/19	REV CB DETAIL TO INCLUDE
4/26/19	ADD ADS FLEXSTORM INLET FILTER TO SILT SACK & CB DETAILS

No. Date Description
Revisions



Griffin Engineering Group, LLC

495 Cabot Street, 2nd Floor
Beverly, MA 01915
Tel: 978-927-5111
Fax: 978-927-5103

DEFINITIVE SUBDIVISION PLAN
53 WILLIAMS ST
BEVERLY, MA

DETAILS I

Scale: 1"=20'
Job No.:
File Name:
Date: 3/11/19

D-1