

# SITE DEVELOPMENT PLANS

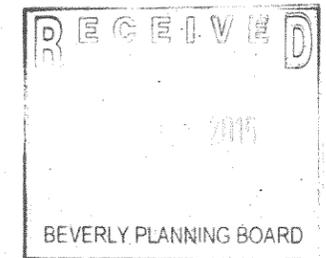
MAP: 5 LOT: 82

## 131 RANTOUL STREET

LOCATED IN

## BEVERLY, MASSACHUSETTS

DATE: MARCH 9, 2015



**OWNER:**

131 RANTOUL STREET CONDOMINIUM  
131 RANTOUL STREET  
BEVERLY, MASSACHUSETTS 01915

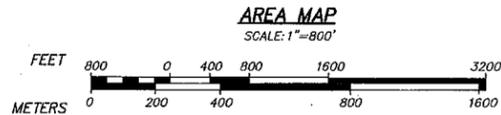
**APPLICANT:**

DEPOT SQUARE PHASE III LLC  
66 CHERRY HILL DRIVE  
BEVERLY, MASSACHUSETTS, 01915

Special Permit #  
145-15  
+ Site Plan Review  
# 116-15

**PREPARED BY:**

**MERIDIAN ASSOCIATES**  
500 CUMMINGS CENTER, SUITE 590  
BEVERLY, MASSACHUSETTS 01915  
TELEPHONE: (978) 299-0447  
WWW.MERIDIANASSOC.COM  
69 MILK STREET, SUITE 302  
WESTBOROUGH, MASSACHUSETTS 01581  
TELEPHONE: (508) 871-7036



BEVERLY PLANNING BOARD APPROVAL

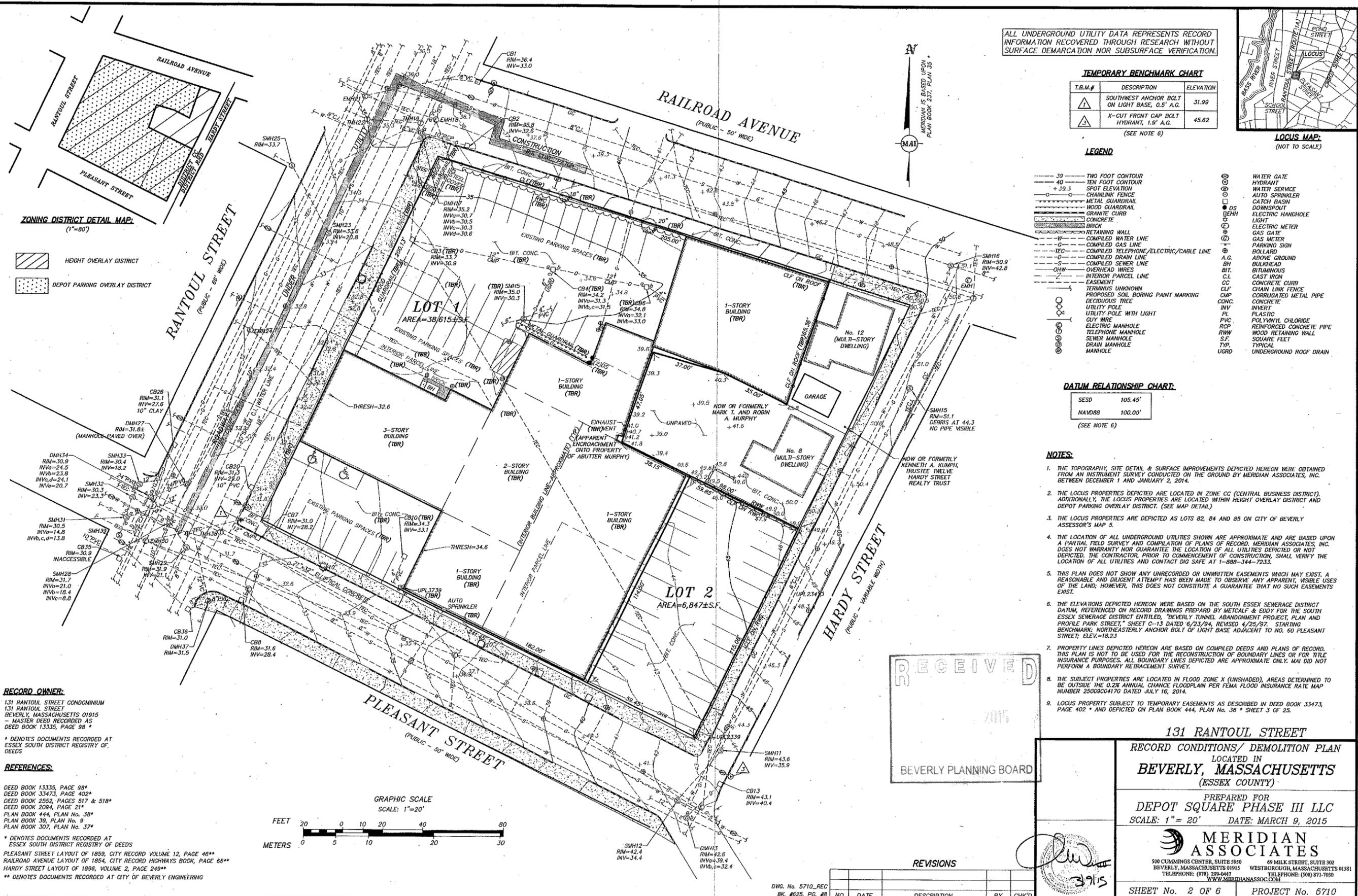
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DATE

### DRAWING INDEX

SHEET 1	COVER SHEET
SHEET 2	RECORD CONDITIONS/DEMOLITION PLAN
SHEET 3	LAYOUT PLAN
SHEET 4	GRADING/STORM DRAINAGE PLAN
SHEET 5	UTILITY PLAN
SHEET 6	DETAILS

3/9/15

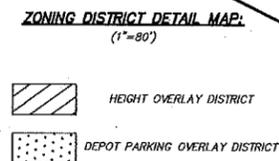
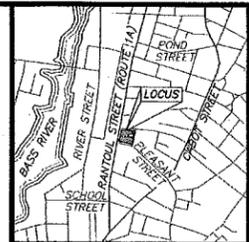


ALL UNDERGROUND UTILITY DATA REPRESENTS RECORD INFORMATION RECOVERED THROUGH RESEARCH WITHOUT SURFACE DEMARCATION NOR SUBSURFACE VERIFICATION.

**TEMPORARY BENCHMARK CHART**

T.B.M.#	DESCRIPTION	ELEVATION
1	SOUTHWEST ANCHOR BOLT ON LIGHT BASE, 0.5' A.G.	31.99
3	X-CUT FRONT CAP BOLT HYDRANT, 1.9' A.G.	45.62

(SEE NOTE 6)



**LEGEND**

39	TWO FOOT CONTOUR	⊗	WATER GATE
40	TEN FOOT CONTOUR	⊙	HYDRANT
+39.3	SPOT ELEVATION	⊖	WATER SERVICE
---	CHAINLINK FENCE	⊕	AUTO SPRINKLER
---	METAL GUARDRAIL	⊗	CATCH BASIN
---	WOOD GUARDRAIL	⊖	DOWNSPOUT
---	GRANITE CURB	⊕	ELECTRIC HANDHOLE
---	CONCRETE	⊙	LIGHT
---	BRICK	⊖	ELECTRIC METER
---	RETAINING WALL	⊕	GAS GATE
---	COMPILED WATER LINE	⊙	GAS METER
---	COMPILED GAS LINE	⊖	PARKING SIGN
---	COMPILED TELEPHONE/ELECTRIC/CABLE LINE	⊕	BOLLARD
---	COMPILED DRAIN LINE	⊙	ABOVE GROUND
---	COMPILED SEWER LINE	⊖	A.G.
---	OVERHEAD WIRES	⊕	BH
---	INTERIOR PARCEL LINE	⊙	BIT.
---	EASEMENT	⊖	C.I.
---	TERMINUS UNKNOWN	⊕	CONCRETE CURB
---	PROPOSED SOIL BORING PAINT MARKING	⊙	CMP
---	DECIDUOUS TREE	⊖	CORROGATED METAL PIPE
---	UTILITY POLE	⊕	CONCRETE
---	UTILITY POLE WITH LIGHT	⊙	INVERT
---	GUY WIRE	⊖	PL
---	ELECTRIC MANHOLE	⊕	PLASTIC
---	TELEPHONE MANHOLE	⊙	POLYVINYL CHLORIDE
---	SEWER MANHOLE	⊖	REINFORCED CONCRETE PIPE
---	DRAIN MANHOLE	⊕	WOOD RETAINING WALL
---	MANHOLE	⊙	SQUARE FEET
---		⊖	TYP.
---		⊕	UGRD
---		⊙	UNDERGROUND ROOF DRAIN

**DATUM RELATIONSHIP CHART:**

SESD	105.45'
NAVD88	100.00'

(SEE NOTE 6)

- NOTES:**
1. THE TOPOGRAPHY, SITE DETAIL & SURFACE IMPROVEMENTS DEPICTED HEREON WERE OBTAINED FROM AN INSTRUMENT SURVEY CONDUCTED ON THE GROUND BY MERIDIAN ASSOCIATES, INC. BETWEEN DECEMBER 1 AND JANUARY 2, 2014.
  2. THE LOCUS PROPERTIES DEPICTED ARE LOCATED IN ZONE CC (CENTRAL BUSINESS DISTRICT). ADDITIONALLY, THE LOCUS PROPERTIES ARE LOCATED WITHIN HEIGHT OVERLAY DISTRICT AND DEPOT PARKING OVERLAY DISTRICT. (SEE MAP DETAIL)
  3. THE LOCUS PROPERTIES ARE DEPICTED AS LOTS 82, 84 AND 85 ON CITY OF BEVERLY ASSESSOR'S MAP 5.
  4. THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED UPON A PARTIAL FIELD SURVEY AND COMPILATION OF PLANS OF RECORD. MERIDIAN ASSOCIATES, INC. DOES NOT WARRANT NOR GUARANTEE THE LOCATION OF ALL UTILITIES DEPICTED OR NOT DEPICTED. THE CONTRACTOR, PRIOR TO COMMENCEMENT OF CONSTRUCTION, SHALL VERIFY THE LOCATION OF ALL UTILITIES AND CONTACT DIG SAFE AT 1-888-344-7233.
  5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE LAND; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
  6. THE ELEVATIONS DEPICTED HEREON WERE BASED ON THE SOUTH ESSEX SEWERAGE DISTRICT DATUM, REFERENCED ON RECORD DRAWINGS PREPARED BY METCALF & EDDY FOR THE SOUTH ESSEX SEWERAGE DISTRICT ENTITLED, "BEVERLY TUNNEL ABANDONMENT PROJECT, PLAN AND PROFILE PARY STREET" SHEET C-13 DATED 6/23/84, REVISED 4/25/97. STARTING BENCHMARK: NORTHEASTERLY ANCHOR BOLT OF LIGHT BASE ADJACENT TO NO. 60 PLEASANT STREET; ELEV.=18.23
  7. PROPERTY LINES DEPICTED HEREON ARE BASED ON COMPILED DEEDS AND PLANS OF RECORD. THIS PLAN IS NOT TO BE USED FOR THE RECONSTRUCTION OF BOUNDARY LINES OR FOR TITLE INSURANCE PURPOSES. ALL BOUNDARY LINES DEPICTED ARE APPROXIMATE ONLY. MAI DID NOT PERFORM A BOUNDARY RETRACEMENT SURVEY.
  8. THE SUBJECT PROPERTIES ARE LOCATED IN FLOOD ZONE X (UNSHADED). AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FEMA FLOOD INSURANCE RATE MAP NUMBER 25009C0417G DATED JULY 16, 2014.
  9. LOCUS PROPERTY SUBJECT TO TEMPORARY EASEMENTS AS DESCRIBED IN DEED BOOK 33473, PAGE 102 \* AND DEPICTED ON PLAN BOOK 444, PLAN No. 38 \* SHEET 3 OF 25.

RECEIVED  
2015  
BEVERLY PLANNING BOARD

131 RANTOUL STREET  
RECORD CONDITIONS/DEMOLITION PLAN  
LOCATED IN  
BEVERLY, MASSACHUSETTS  
(ESSEX COUNTY)

PREPARED FOR  
DEPOT SQUARE PHASE III LLC  
SCALE: 1"=20' DATE: MARCH 9, 2015

**MERIDIAN ASSOCIATES**  
500 CUMMINGS CENTER, SUITS 9950 69 MILK STREET, SUITE 302  
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WWW.MERIDIANASSOC.COM

SHEET No. 2 OF 6 PROJECT No. 5710

**RECORD OWNER:**  
131 RANTOUL STREET CONDOMINIUM  
131 RANTOUL STREET  
BEVERLY, MASSACHUSETTS 01915  
- MASTER DEED RECORDED AS  
DEED BOOK 13335, PAGE 98 \*

\* DENOTES DOCUMENTS RECORDED AT  
ESSEX SOUTH DISTRICT REGISTRY OF  
DEEDS

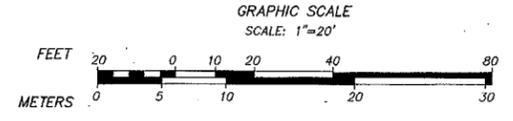
**REFERENCES:**

DEED BOOK 13335, PAGE 98\*  
DEED BOOK 33473, PAGE 402\*  
DEED BOOK 2552, PAGES 517 & 518\*  
DEED BOOK 2094, PAGE 21\*  
PLAN BOOK 444, PLAN No. 38\*  
PLAN BOOK 36, PLAN No. 9  
PLAN BOOK 307, PLAN No. 37\*

\* DENOTES DOCUMENTS RECORDED AT  
ESSEX SOUTH DISTRICT REGISTRY OF DEEDS

PLEASANT STREET LAYOUT OF 1859, CITY RECORD VOLUME 12, PAGE 46\*\*  
RAILROAD AVENUE LAYOUT OF 1854, CITY RECORD HIGHWAYS BOOK, PAGE 66\*\*  
HARDY STREET LAYOUT OF 1898, VOLUME 2, PAGE 249\*\*

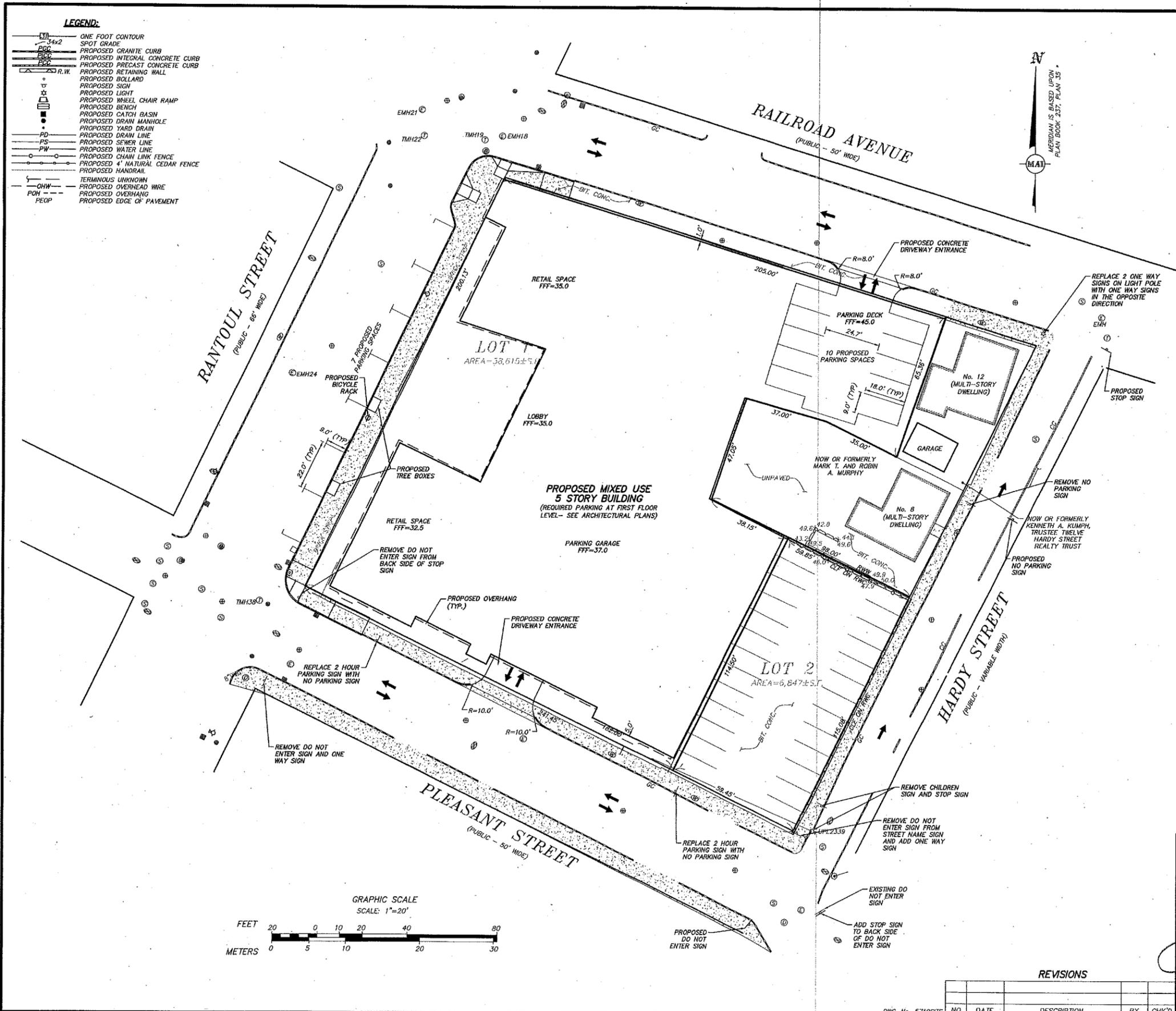
\*\* DENOTES DOCUMENTS RECORDED AT CITY OF BEVERLY ENGINEERING



**REVISIONS**

NO.	DATE	DESCRIPTION	BY	CHK'D

DWG. No. 5710\_REC  
BK. #623, PG. #8



**PARKING TABLE:**

**REQUIRED:**  
 72 RESIDENTIAL UNITS  
 1 SPACE PER EACH RESIDENTIAL UNIT = 72 SPACES  
 7200 SF RETAIL SPACE GROSS FLOOR AREA  
 1 SPACE PER 275 SF OF GROSS FLOOR AREA = 27 SPACES  
**TOTAL REQUIRED = 99 SPACES**

**PROVIDED:**  
**SITE:**  
 ENCLOSED PARKING GARAGE = 62 SPACES  
 OPEN PARKING DECK = 10 SPACES  
**TOTAL ON SITE = 72 SPACES**

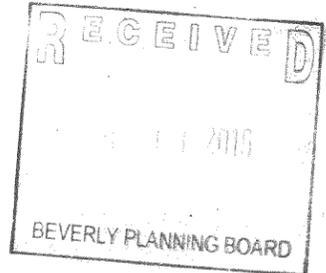
**STREET:**  
 RANTOUL STREET ABUTTING PARCEL FRONTAGE = 7 SPACES  
**MBTA PARKING GARAGE:**  
 20 SPACES  
**TOTAL PROVIDED = 99 SPACES**

**SCHEDULE OF DIMENSIONAL CONTROLS:**

ZONING DISTRICT: CC (CENTRAL BUSINESS DISTRICT)	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA:	NONE	38,615 SF	38,615 SF
MAXIMUM BUILDING HEIGHT:	55 FT	-	55 FT
MINIMUM LOT FRONTAGE:	50 FT	200.13 FT	200.13 FT
FRONT YARD SETBACK:	NONE	0 FT	0 FT
SIDE YARD SETBACK:	NONE	1 FT	1 FT
REAR YARD SETBACK:	NONE	0 FT	0 FT

**NOTES:**

- PLEASANT STREET IS CURRENTLY ONE WAY TRAFFIC TO RANTOUL STREET. IT IS BEING PROPOSED THAT PLEASANT STREET BE CHANGED TO TWO WAY TRAFFIC UP TO THE INTERSECTION WITH HARDY STREET.
- HARDY STREET IS CURRENTLY ONE WAY TRAFFIC TO PLEASANT STREET. IT IS BEING PROPOSED THAT ONE WAY TRAFFIC ON HARDY STREET BE REVERSED TOWARDS RAILROAD AVENUE.
- THE IMPROVEMENTS WITHIN RANTOUL STREET ARE TO BE COMPLETED UNDER THE ROUTE 1A (RANTOUL STREET AND CABOT STREET) IMPROVEMENT PROJECT. THE IMPROVEMENTS INCLUDE CONCRETE SIDEWALKS, WHEEL CHAIR RAMPS, UTILITY IMPROVEMENTS, CURBING, PAVEMENT AND LIGHTING. IMPROVEMENTS ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY. PLEASE REFER TO THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION HIGHWAY DIVISION ROUTE 1A (RANTOUL STREET AND CABOT STREET) PLANS.
- THE ROUTE 1A IMPROVEMENTS INCLUDE THREE CONCRETE DRIVEWAYS FOR ACCESS INTO THE SITE FROM RANTOUL STREET. SINCE THE BUILDINGS ARE BEING DEMOLISHED AND THE SITE IS BEING RECONFIGURED THE THREE CONCRETE DRIVEWAYS ARE NO LONGER NEEDED. THEREFORE THEY ARE NOT SHOWN ON THIS PLAN.



131 RANTOUL STREET  
 LAYOUT PLAN  
 LOCATED IN  
 BEVERLY, MASSACHUSETTS  
 (ESSEX COUNTY)

PREPARED FOR  
 DEPOT SQUARE PHASE III LLC  
 SCALE: 1" = 20' DATE: MARCH 9, 2015



**MERIDIAN ASSOCIATES**  
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 TELEPHONE: (508) 871-7039

SHEET No. 3 OF 6

PROJECT No. 5710

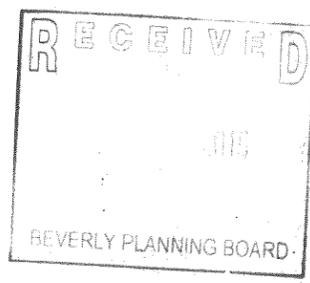
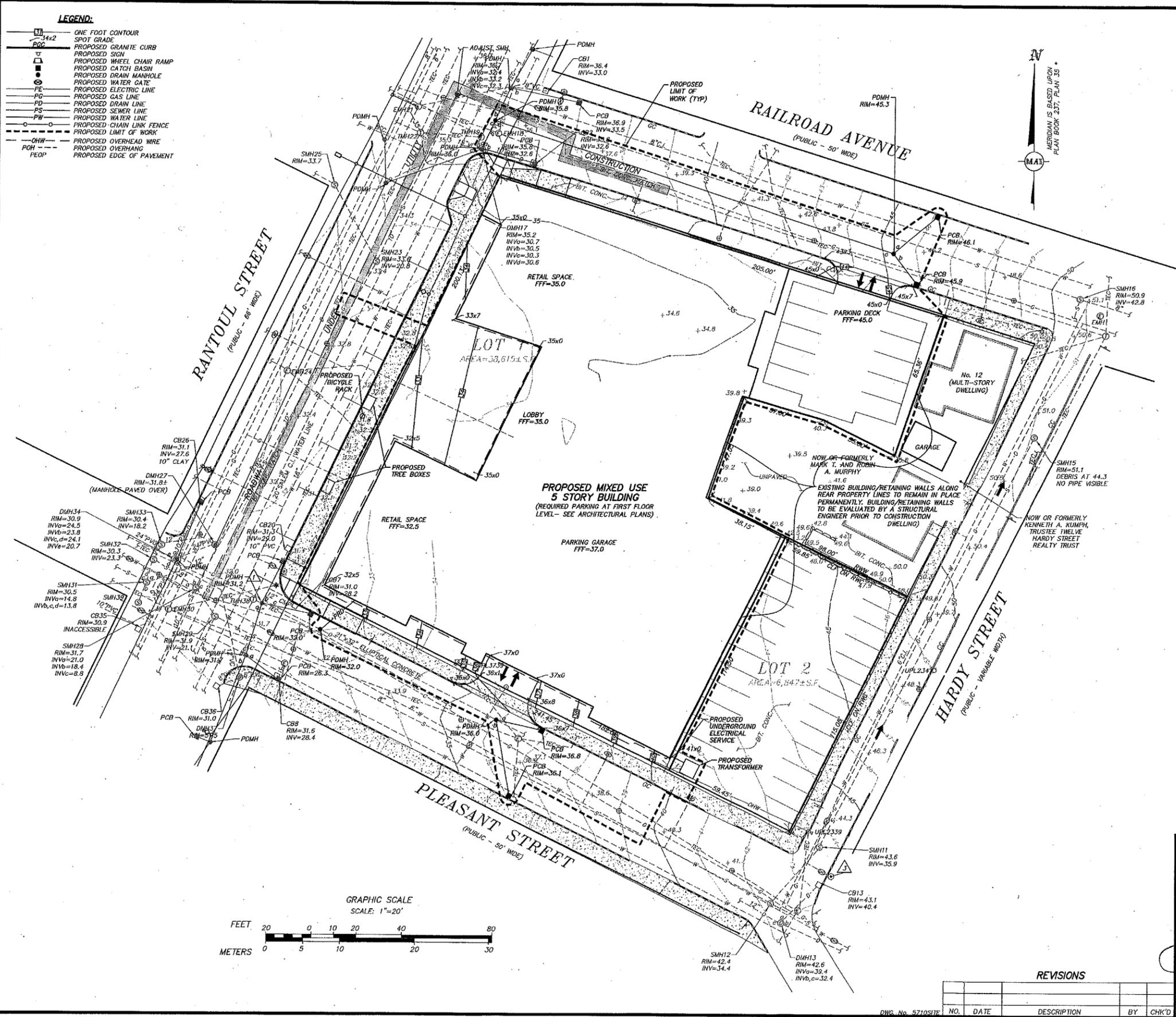
REVISIONS

NO.	DATE	DESCRIPTION	BY	CHK'D

DWG. No. 5710 SITE

**LEGEND:**

- ONE FOOT CONTOUR
- SPOT GRADE
- PROPOSED GRANITE CURB
- PROPOSED SIGN
- PROPOSED WHEEL CHAIR RAMP
- PROPOSED CATCH BASIN
- PROPOSED DRAIN MANHOLE
- PROPOSED WATER GATE
- PROPOSED ELECTRIC LINE
- PROPOSED GAS LINE
- PROPOSED DRAIN LINE
- PROPOSED SEWER LINE
- PROPOSED WATER LINE
- PROPOSED CHAIN LINK FENCE
- PROPOSED LIMIT OF WORK
- PROPOSED OVERHEAD WIRE
- PROPOSED OVERHANG
- PROPOSED EDGE OF PAVEMENT



**PROPOSED GRADING NOTES:**

1. POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES SHALL BE MAINTAINED WITH THE USE OF GRASS LINED SWALES.
2. AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE. BLEND NEW PAVEMENT, CURBS AND EARTHWORK SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADES AND JOINTS.
3. PITCH EVENLY BETWEEN SPOT GRADES. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MINIMUM OF 1/8" PER FOOT UNLESS SPECIFIED. ANY DISCREPANCIES NOT ALLOWING THIS MINIMUM PITCH SHALL BE REPORTED TO THE ENGINEER PRIOR TO CONTINUING WORK.
4. THE CONTRACTOR SHALL SCHEDULE WORK TO ALLOW THE FINISHED SUBGRADE ELEVATIONS TO DRAIN PROPERLY WITHOUT FORMING SURFACE PONDING.
5. CONTRACTOR TO PROVIDE AND MAINTAIN APPROPRIATE EROSION CONTROL UNTIL ALL SITE WORK IS COMPLETED AND THE SITE IS FULLY VEGETATED AND/OR STABILIZED.
6. PRIOR TO CONSTRUCTION, AN ADDITIONAL TEMPORARY BENCHMARK SHALL BE SET WHICH WILL NOT BE DAMAGED DURING CONSTRUCTION PROCESS.

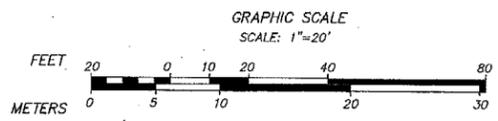
**131 RANTOUL STREET**  
**GRADING/ STORM DRAINAGE PLAN**  
 LOCATED IN  
**BEVERLY, MASSACHUSETTS**  
 (ESSEX COUNTY)

PREPARED FOR  
**DEPOT SQUARE PHASE III LLC**  
 SCALE: 1" = 20'      DATE: MARCH 9, 2015

**MERIDIAN ASSOCIATES**

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 WWW.MERIDIANASSOC.COM

SHEET No. 4 OF 6      PROJECT No. 5710

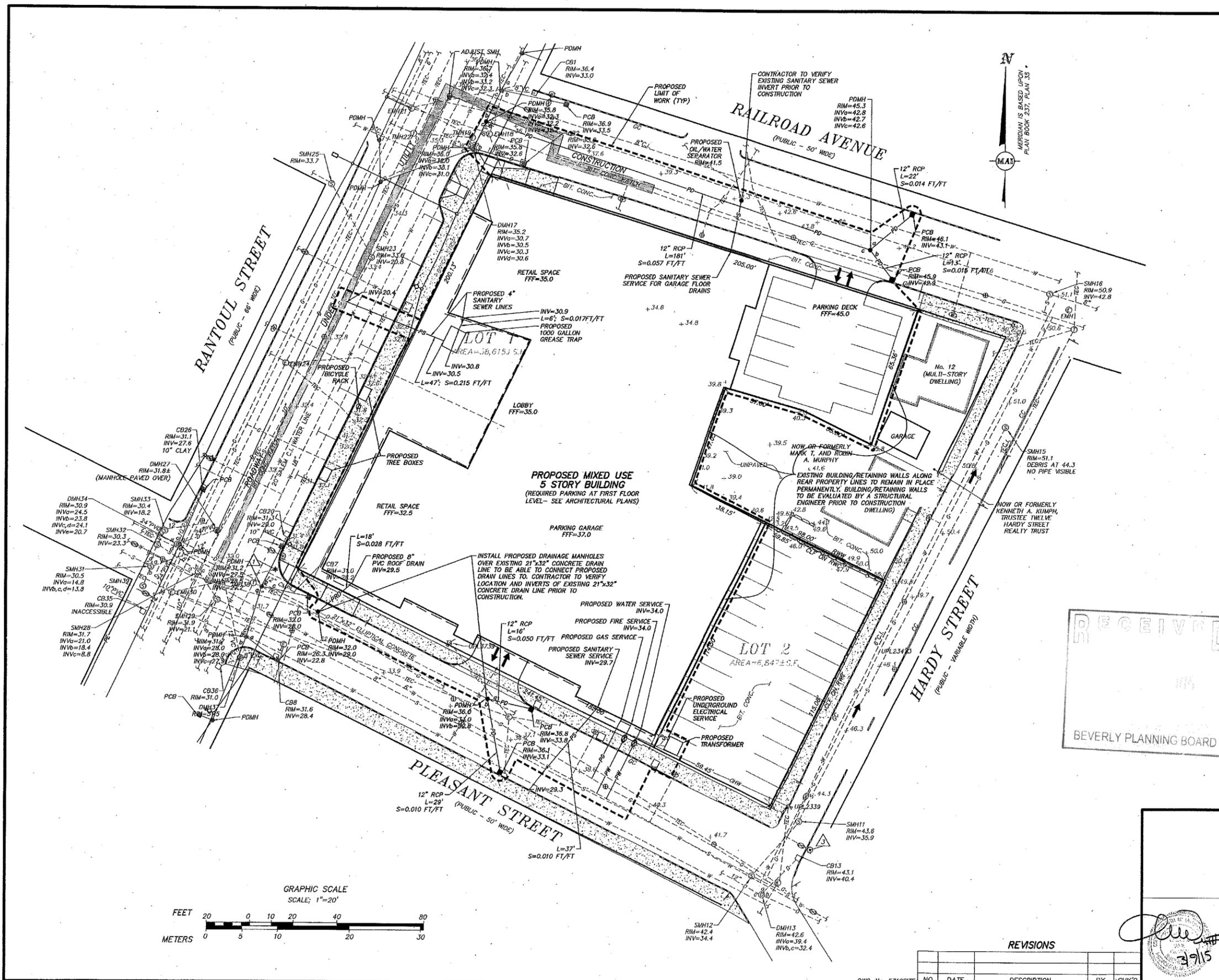


**REVISIONS**

NO.	DATE	DESCRIPTION	BY	CHK'D



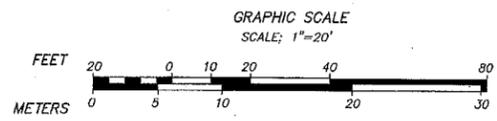
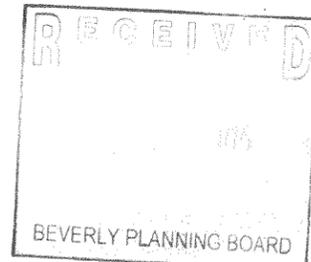
DWG. No. 5710SITE



**LEGEND:**

—	ONE FOOT CONTOUR
—	SPOT GRADE
—	PROPOSED GRANITE CURB
—	PROPOSED SIGN
—	PROPOSED WHEEL CHAIR RAMP
—	PROPOSED CATCH BASIN
—	PROPOSED DRAIN MANHOLE
—	PROPOSED WATER GATE
—	PROPOSED ELECTRIC LINE
—	PROPOSED GAS LINE
—	PROPOSED FIRE LINE
—	PROPOSED SEWER LINE
—	PROPOSED WATER LINE
—	PROPOSED CHAIN LINK FENCE
—	PROPOSED LIMIT OF WORK
—	PROPOSED OVERHEAD WIRE
—	PROPOSED OVERHANG
—	PROPOSED EDGE OF PAVEMENT

- PROPOSED UTILITY NOTES:**
1. THE CONTRACTOR SHALL VERIFY EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES, AS REQUIRED. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE OWNER AND ENGINEER FOR RESOLUTION.
  2. INSTALL ALL UTILITIES (INCLUDING CONCRETE MECHANICAL PADS) PER MEP SPECIFICATIONS, UTILITY COMPANY AND LOCAL DPW STANDARDS.
  3. CONTRACTOR SHALL PROTECT ALL UNDERGROUND DRAINAGE, SEWER AND UTILITY FACILITIES FROM EXCESSIVE VEHICULAR LOADS DURING CONSTRUCTION. ANY DAMAGE TO THESE FACILITIES RESULTING FROM CONSTRUCTION LOADS WILL BE RESTORED TO ORIGINAL CONDITION AT NO COST TO OWNER.
  4. ABANDON EXISTING UTILITY SERVICES AS REQUIRED ONSITE ACCORDING TO UTILITY COMPANY AND CITY OF BEVERLY REQUIREMENTS.
  5. EXCAVATION REQUIRED WITHIN THE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER.
  6. COORDINATE UTILITY CONSTRUCTION WITH ALL TRADES AND CORRESPONDING DESIGN PLANS FOR CONNECTION TO EXISTING BUILDING AND SITE UTILITIES.
  7. PROPOSED BUILDING UTILITY CONNECTIONS DEPICTED HEREON HAVE BEEN PROVIDED FOR SCHEMATIC PURPOSES ONLY. ACTUAL UTILITY CONFIGURATIONS SHALL BE DETERMINED BY THE RESPECTIVE UTILITY PROVIDERS, MEP SPECIFICATIONS, AND PROPOSED CONNECTION LOCATIONS PROVIDED BY THE ARCHITECT.
  8. REFER TO ARCHITECTURAL AND MEP PLANS FOR INFORMATION AND DETAILS REGARDING THE LOCATION, SIZE AND TYPES OF PROPOSED UTILITY CONNECTIONS.
  9. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TEE'S, VALVES, EXPANSION AND/OR CONTRACTION FITTINGS, GATES AND ALL OTHER PARTS AND PIPING NECESSARY FOR THE INSTALLATION OF THE WATER LINES AND FIRE SUPPRESSION LINES. ALL WORK SHALL BE COORDINATED WITH THE CITY OF BEVERLY WATER DIVISION AND FIRE DEPARTMENT.
  10. ALL TRENCHING, DIGGING, AND EXCAVATING SHALL BE EXECUTED AND PROTECTED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS, INCLUDING, BUT NOT LIMITED TO, MASSACHUSETTS GENERAL LAW 82A ("JACKIE'S LAW", EFFECTIVE JANUARY 1, 2009).
  11. THE CONTRACTOR SHALL PROVIDE UNDERGROUND ELECTRIC CONDUIT FOR SITE LIGHTING AS APPROPRIATE.
  12. THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED UPON A PARTIAL FIELD SURVEY AND COMPILATION OF PLANS OF RECORD. MERIDIAN ASSOCIATES, INC. DOES NOT WARRANT NOR GUARANTEE THE LOCATION OF ALL UTILITIES DEPICTED OR NOT DEPICTED. THE CONTRACTOR, PRIOR TO COMMENCEMENT OF CONSTRUCTION, SHALL VERIFY THE LOCATION OF ALL UTILITIES AND CONTACT DIG SAFE AT 1-888-344-7233.
  13. THE ELECTRIC AND TELEPHONE LINES ARE SHOWN FOR SCHEMATIC PURPOSES ONLY. SEE PLANS PREPARED BY THE ELECTRICAL ENGINEER FOR DETAILS AND SPECIFICATIONS.



**131 RANTOUL STREET**  
UTILITY PLAN  
LOCATED IN  
**BEVERLY, MASSACHUSETTS**  
(ESSEX COUNTY)

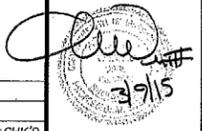
PREPARED FOR  
**DEPOT SQUARE PHASE III LLC**  
SCALE: 1"=20' DATE: MARCH 9, 2015

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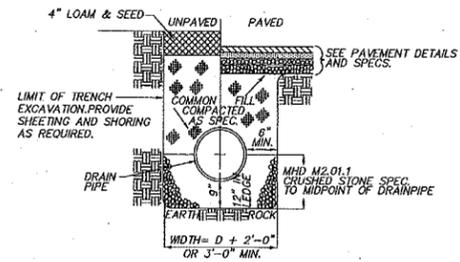
SHEET No. 5 OF 6 PROJECT No. 5710

**REVISIONS**

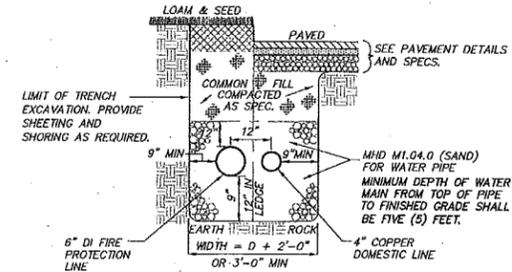
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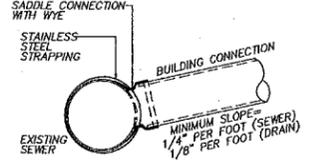
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**STORM DRAIN TRENCH DETAIL**  
(NOT TO SCALE)

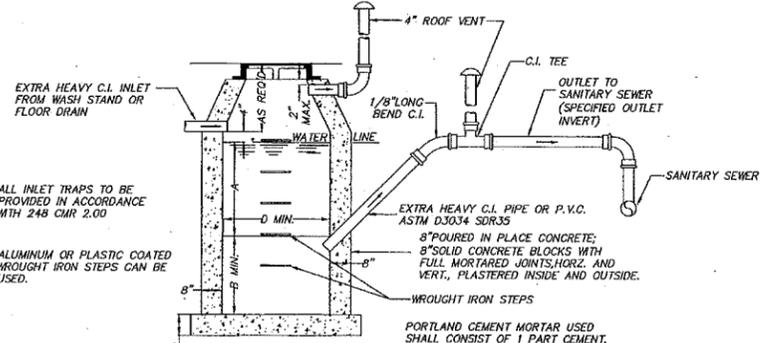


**WATER SERVICE TRENCH**  
(NOT TO SCALE)



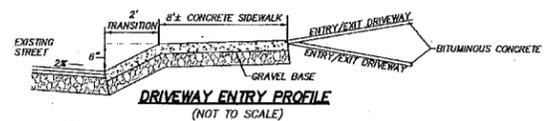
- NOTES:**
1. FULL PVC OR IRON SADDLE MAY BE USED TO CONNECT TO EXISTING PVC, CLAY, CONCRETE, OR IRON PIPE.
  2. SADDLES MUST HAVE RUBBER GASKETS AND SHALL BE TIGHTENED WITH STRAPS. SADDLES WILL NOT BE CEMENTED ONTO THE PIPE.
  3. FULL WYE CONNECTION FITTINGS MAY BE USED.
  4. PIPE SHALL BE CUT TO CONFORM TO THE OPENING IN THE SADDLE.
  5. CONNECTIONS DIRECTLY INTO THE EXISTING PIPE WITHOUT A SADDLE OR FULL WYE FITTING ARE NOT ALLOWED.
  6. BUILDING CONNECTIONS SHALL BE BEDDED IN 3/4" MIN CRUSHED STONE TO AT LEAST HALF THE PIPE DIAMETER.

**SEWER CONNECTION DETAIL**  
(NOT TO SCALE)

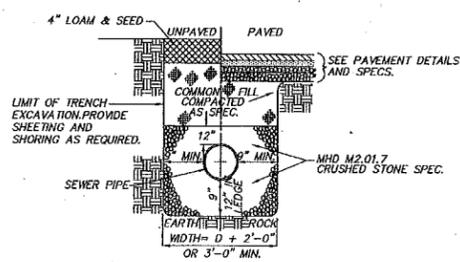


- NOTES:**
- FOR INLETS LARGER THAN 10" THE DESIGN AND DIMENSIONS WILL BE DETERMINED FOR EACH PARTICULAR CASE.
  - PRE-CAST SEPARATORS ARE TO HAVE ALL SPECIFIED HOLES EITHER CORE-BORED OR CAST IN PLACE.
  - CEMENT BRICK, HOLLOW CONCRETE, OR CINDER BLOCK MASONRY MUST NOT BE USED.
  - ALL OIL AND GASOLINE MUST BE REMOVED BEFORE CLEANING OUT THE BASIN, AND MUST NOT BE DISCHARGED INTO THE SEWER THROUGH OTHER FIXTURES.

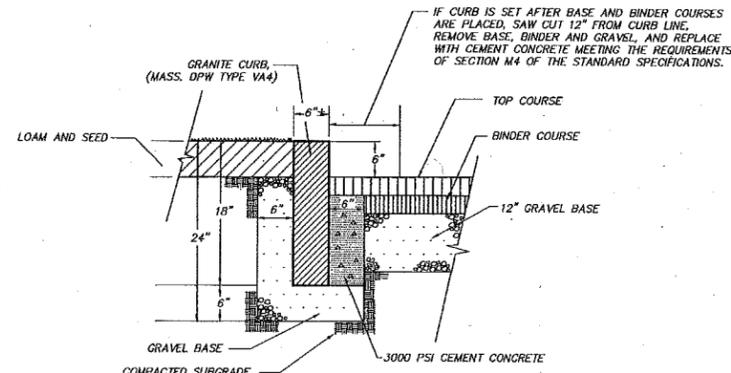
**OIL/WATER SEPARATOR**  
(NOT TO SCALE)



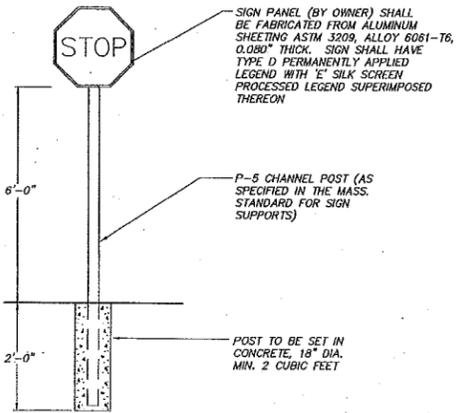
**DRIVEWAY ENTRY PROFILE**  
(NOT TO SCALE)



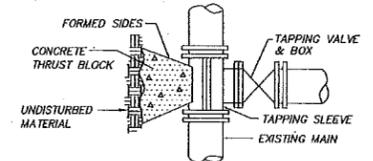
**SEWER TRENCH DETAIL**  
(NOT TO SCALE)



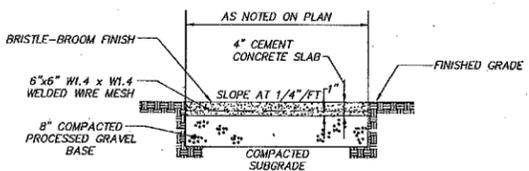
**GRANITE CURB DETAIL**  
(NOT TO SCALE)



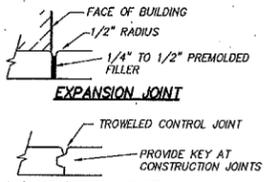
**STOP SIGN DETAIL**  
(NOT TO SCALE)



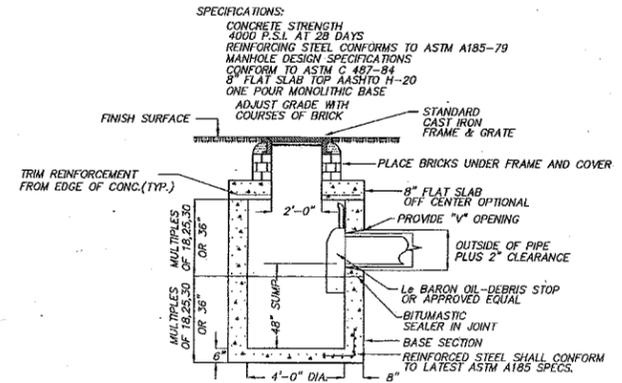
**TAPPING VALVE AND SLEEVE**  
(NOT TO SCALE)



**CONCRETE WALKWAY**  
(NOT TO SCALE)

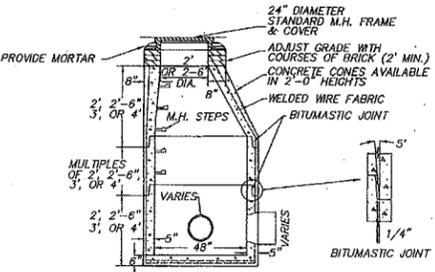


**EXPANSION JOINT**  
NOTE: TYPICAL EXPANSION JOINT SPACING EVERY 20' O.C.  
TYPICAL CONTROL JOINT SPACING EVERY 5' O.C.

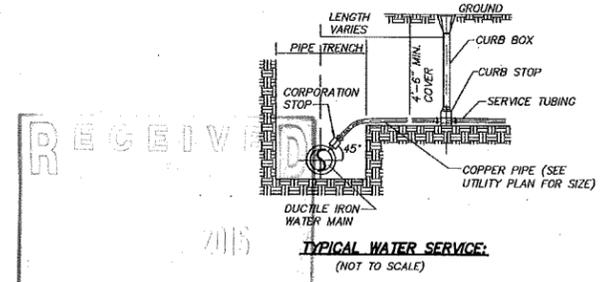


**FLAT TOP CATCH BASIN WITH OIL/GREASE TRAP**  
(NOT TO SCALE)

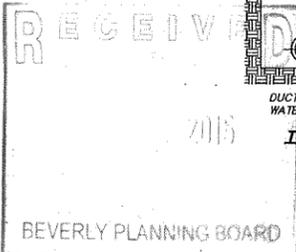
- NOTES:**
1. MANHOLE DESIGN TO LATEST ASTM C478.
  2. REINFORCING STEEL CONFORMS TO LATEST ASTM A 185.
  3. CONCRETE COMPRESSIVE STRENGTH - 4,000 PSI @ 28 DAYS.
  4. ONE FOUR MONOLITHIC BASE.
  5. WHEN SPECIFIED, MANHOLES WATERPROOF COATED.
  6. STEPS - STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTICS (PS2-PFSL M.A. INDUSTRIES, INC.) CONFORMS TO LATEST ASTM C478 PARA-12.
  7. BITUMASTIC BUTYL RUBBER FOR JOINTS CONFORM TO LATEST ASTM C443 AND FED SS-5-201A SPEC.



**DRAIN MANHOLE DETAIL**  
(NOT TO SCALE)



**TYPICAL WATER SERVICE**  
(NOT TO SCALE)



131 RANTOUL STREET  
DETAILS  
LOCATED IN  
BEVERLY, MASSACHUSETTS  
(ESSEX COUNTY)

PREPARED FOR  
DEPOT SQUARE PHASE III LLC  
SCALE: NOT TO SCALE DATE: MARCH 9, 2015

**MERIDIAN ASSOCIATES**

500 CUMMINGS CENTER, SUITE 5950  
BEVERLY, MASSACHUSETTS 01915  
TELEPHONE: (978) 259-0447  
WWW.MERIDIANASSOC.COM

SHEET No. 6 OF 6 PROJECT No. 5710

**REVISIONS**

NO.	DATE	DESCRIPTION	BY	CHK'D

DRG. No. 5710DET

