

# SITE DEVELOPMENT PLANS

MAP: 5 LOT: 82

## 131 RANTOUL STREET

LOCATED IN

## BEVERLY, MASSACHUSETTS

DATE: MARCH 9, 2015  
REVISED: MAY 11, 2015

**OWNER:**

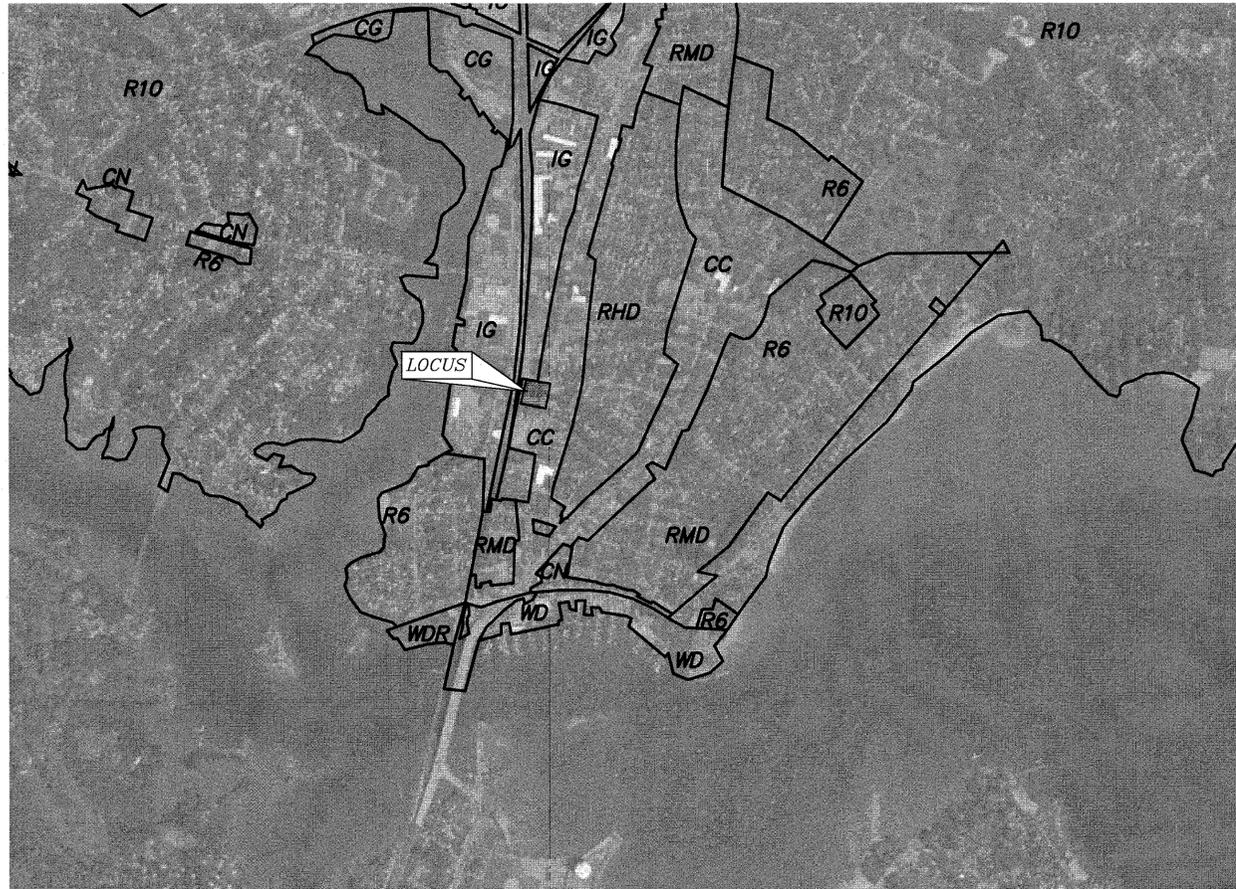
131 RANTOUL STREET CONDOMINIUM  
131 RANTOUL STREET  
BEVERLY, MASSACHUSETTS 01915

**APPLICANT:**

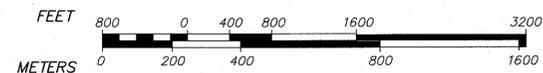
DEPOT SQUARE PHASE III LLC  
66 CHERRY HILL DRIVE  
BEVERLY, MASSACHUSETTS, 01915

**PREPARED BY:**

 **MERIDIAN ASSOCIATES**  
500 CUMMINGS CENTER, SUITE 5950 BEVERLY, MASSACHUSETTS 01915  
69 MILK STREET, SUITE 302 WESTBOROUGH, MASSACHUSETTS 01581  
TELEPHONE: (978) 299-0447 TELEPHONE: (508) 871-7030  
WWW.MERIDIANASSOC.COM



**AREA MAP**  
SCALE: 1"=800'



BEVERLY PLANNING  
BOARD APPROVAL

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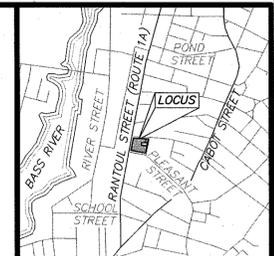
DATE

### DRAWING INDEX

SHEET 1	COVER SHEET
SHEET 2	RECORD CONDITIONS/DEMOLITION PLAN
SHEET 3	LAYOUT PLAN
SHEET 4	GRADING/STORM DRAINAGE PLAN
SHEET 5	UTILITY PLAN
SHEET 6	DETAILS



ALL UNDERGROUND UTILITY DATA REPRESENTS RECORD INFORMATION RECOVERED THROUGH RESEARCH WITHOUT SURFACE DEMARCATION NOR SUBSURFACE VERIFICATION.



**TEMPORARY BENCHMARK CHART**

T.B.M.#	DESCRIPTION	ELEVATION
△	SOUTHWEST ANCHOR BOLT ON LIGHT BASE, 0.5' A.G.	31.99
△	X-CUT FRONT CAP BOLT HYDRANT, 1.9' A.G.	45.62

(SEE NOTE 6)

**LEGEND**

--- 39 ---	TWO FOOT CONTOUR	⊗	WATER GATE
--- 40 ---	TEN FOOT CONTOUR	⊕	HYDRANT
--- + 39 ---	SPOT ELEVATION	⊖	WATER SERVICE
⊖	CHAINLINK FENCE	⊙	AUTO SPRINKLER
⊖	METAL GUARDRAIL	⊙	CATCH BASIN
⊖	WOOD GUARDRAIL	⊙	DOWNSPOUT
⊖	GRANITE CURB	⊙	DS
⊖	CONCRETE	⊙	EHH
⊖	RETAINING WALL	⊙	ELECTRIC HANDHOLE
⊖	COMPILED WATER LINE	⊙	LIGHT
⊖	COMPILED GAS LINE	⊙	ELECTRIC METER
⊖	COMPILED TELEPHONE/ELECTRIC/CABLE LINE	⊙	GAS GATE
⊖	COMPILED DRAIN LINE	⊙	BULKHEAD
⊖	COMPILED SEWER LINE	⊙	BT
⊖	OVERHEAD WIRES	⊙	BIT
⊖	INTERIOR PARCEL LINE	⊙	C.I.
⊖	EASEMENT	⊙	CC
⊖	TERMINUS UNKNOWN	⊙	CONCRETE CURB
⊖	PROPOSED SOIL BORING PAINT MARKING	⊙	CLF
⊖	DECIDUOUS TREE	⊙	CHAIN LINK FENCE
⊖	UTILITY POLE	⊙	CORRUGATED METAL PIPE
⊖	UTILITY POLE WITH LIGHT	⊙	CONCRETE
⊖	GUY WIRE	⊙	INV
⊖	ELECTRIC MANHOLE	⊙	PL
⊖	TELEPHONE MANHOLE	⊙	PVC
⊖	SEWER MANHOLE	⊙	RCF
⊖	DRAIN MANHOLE	⊙	WOOD RETAINING WALL
⊖	MANHOLE	⊙	RWW
		⊙	S.F.
		⊙	TYP.
		⊙	UGRD
		⊙	UNDERGROUND ROOF DRAIN

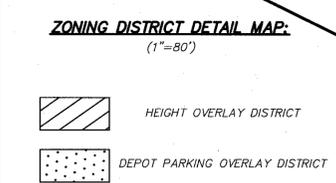
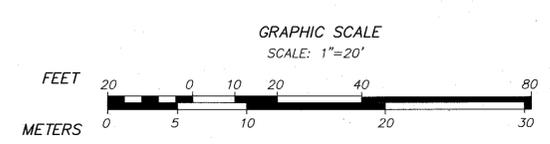
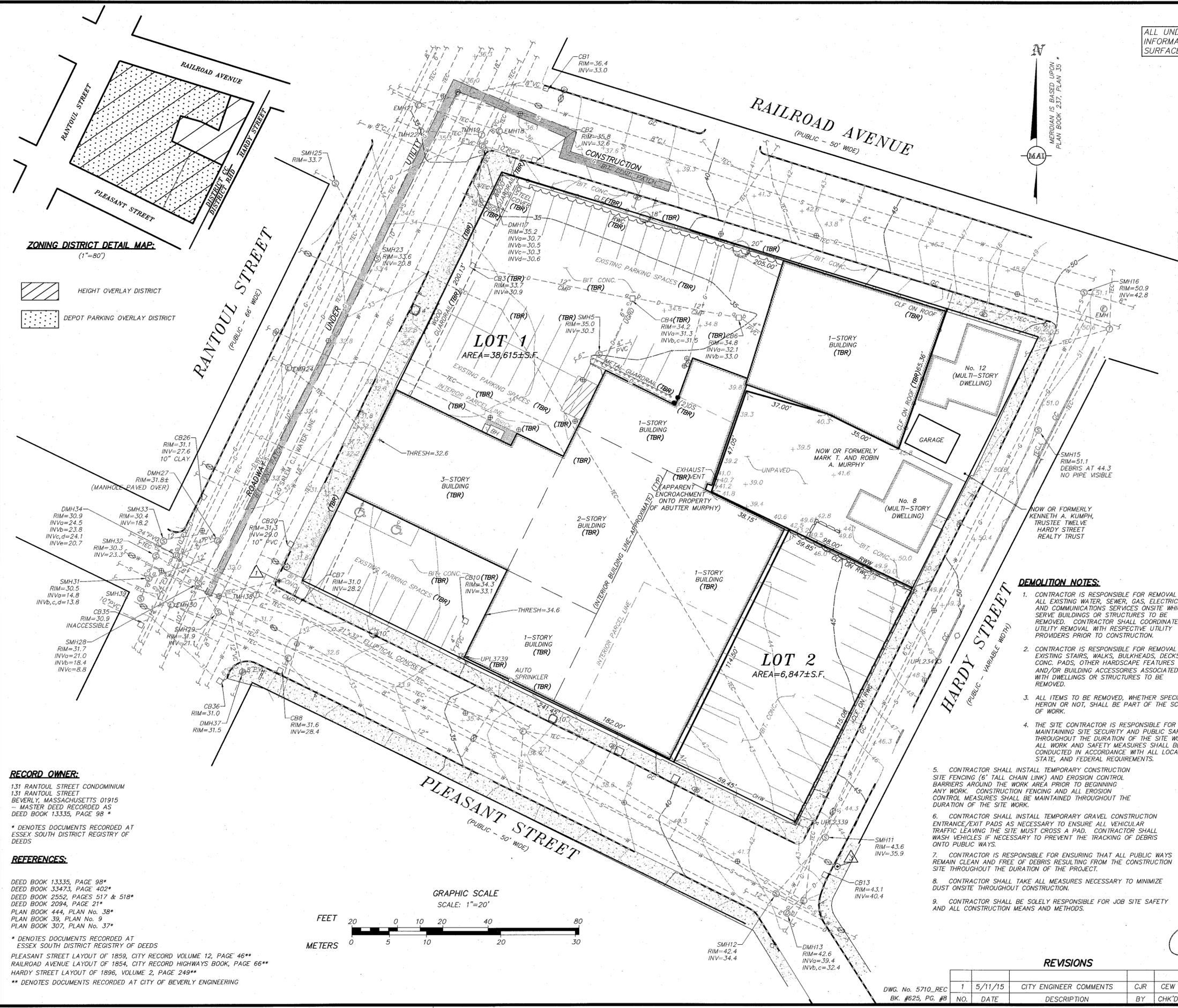
**DATUM RELATIONSHIP CHART:**

SESD	105.45'
NAVD88	100.00'

(SEE NOTE 6)

- NOTES:**
1. THE TOPOGRAPHY, SITE DETAIL & SURFACE IMPROVEMENTS DEPICTED HEREON WERE OBTAINED FROM AN INSTRUMENT SURVEY CONDUCTED ON THE GROUND BY MERIDIAN ASSOCIATES, INC. BETWEEN DECEMBER 1 AND JANUARY 2, 2014.
  2. THE LOCUS PROPERTIES DEPICTED ARE LOCATED IN ZONE CC (CENTRAL BUSINESS DISTRICT). ADDITIONALLY, THE LOCUS PROPERTIES ARE LOCATED WITHIN HEIGHT OVERLAY DISTRICT AND DEPOT PARKING OVERLAY DISTRICT. (SEE MAP DETAIL).
  3. THE LOCUS PROPERTIES ARE DEPICTED AS LOTS 82, 84 AND 85 ON CITY OF BEVERLY ASSESSOR'S MAP 5.
  4. THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED UPON A PARTIAL FIELD SURVEY AND COMPILATION OF PLANS OF RECORD. MERIDIAN ASSOCIATES, INC. DOES NOT WARRANT NOR GUARANTEE THE LOCATION OF ALL UTILITIES DEPICTED OR NOT DEPICTED. THE CONTRACTOR, PRIOR TO COMMENCEMENT OF CONSTRUCTION, SHALL VERIFY THE LOCATION OF ALL UTILITIES AND CONTACT DIG SAFE AT 1-888-344-7233.
  5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE LAND; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
  6. THE ELEVATIONS DEPICTED HEREON WERE BASED ON THE SOUTH ESSEX SEWERAGE DISTRICT DATUM, REFERENCED ON RECORD DRAWINGS PREPARED BY METCALF & EDDY FOR THE SOUTH ESSEX SEWERAGE DISTRICT ENTITLED, "BEVERLY TUNNEL ABANDONMENT PROJECT, PLAN AND PROFILE PARK STREET," SHEET C-13 DATED 6/23/94, REVISED 4/25/97. STARTING BENCHMARK: NORTHEASTERLY ANCHOR BOLT OF LIGHT BASE ADJACENT TO NO. 60 PLEASANT STREET; ELEV.=18.23
  7. PROPERTY LINES DEPICTED HEREON ARE BASED ON COMPILED DEEDS AND PLANS OF RECORD. THIS PLAN IS NOT TO BE USED FOR THE RECONSTRUCTION OF BOUNDARY LINES OR FOR TITLE INSURANCE PURPOSES. ALL BOUNDARY LINES DEPICTED ARE APPROXIMATE ONLY. MAI DID NOT PERFORM A BOUNDARY RETRACEMENT SURVEY.
  8. THE SUBJECT PROPERTIES ARE LOCATED IN FLOOD ZONE X (UNSHADED), AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FEMA FLOOD INSURANCE RATE MAP NUMBER 25009C0417G DATED JULY 16, 2014.
  9. LOCUS PROPERTY SUBJECT TO TEMPORARY EASEMENTS AS DESCRIBED IN DEED BOOK 33473, PAGE 402 \* AND DEPICTED ON PLAN BOOK 444, PLAN No. 36 \* SHEET 3 OF 25.

- DEMOLITION NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL EXISTING WATER, SEWER, GAS, ELECTRICAL, AND COMMUNICATIONS SERVICES ON-SITE WHICH SERVE BUILDINGS OR STRUCTURES TO BE REMOVED. CONTRACTOR SHALL COORDINATE ALL UTILITY REMOVAL WITH RESPECTIVE UTILITY PROVIDERS PRIOR TO CONSTRUCTION.
  2. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF EXISTING STAIRS, WALKS, BULKHEADS, DECKS, CONC. PADS, OTHER HARDSCAPE FEATURES AND/OR BUILDING ACCESSORIES ASSOCIATED WITH WITH DWELLINGS OR STRUCTURES TO BE REMOVED.
  3. ALL ITEMS TO BE REMOVED, WHETHER SPECIFIED HERON OR NOT, SHALL BE PART OF THE SCOPE OF WORK.
  4. THE SITE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SITE SECURITY AND PUBLIC SAFETY THROUGHOUT THE DURATION OF THE SITE WORK. ALL WORK AND SAFETY MEASURES SHALL BE CONDUCTED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS.
  5. CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION SITE FENCING (6' TALL CHAIN LINK) AND EROSION CONTROL BARRIERS AROUND THE WORK AREA PRIOR TO BEGINNING ANY WORK. CONSTRUCTION FENCING AND ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE SITE WORK.
  6. CONTRACTOR SHALL INSTALL TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT PADS AS NECESSARY TO ENSURE ALL VEHICULAR TRAFFIC LEAVING THE SITE MUST CROSS A PAD. CONTRACTOR SHALL WASH VEHICLES IF NECESSARY TO PREVENT THE TRACKING OF DEBRIS ONTO PUBLIC WAYS.
  7. CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL PUBLIC WAYS REMAIN CLEAN AND FREE OF DEBRIS RESULTING FROM THE CONSTRUCTION SITE THROUGHOUT THE DURATION OF THE PROJECT.
  8. CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO MINIMIZE DUST ONSITE THROUGHOUT CONSTRUCTION.
  9. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY AND ALL CONSTRUCTION MEANS AND METHODS.



**RECORD OWNER:**  
131 RANTOUL STREET CONDOMINIUM  
131 RANTOUL STREET  
BEVERLY, MASSACHUSETTS 01915  
-- MASTER DEED RECORDED AS  
DEED BOOK 13335, PAGE 98 \*

\* DENOTES DOCUMENTS RECORDED AT  
ESSEX SOUTH DISTRICT REGISTRY OF  
DEEDS

**REFERENCES:**

DEED BOOK 13335, PAGE 98\*  
DEED BOOK 33473, PAGE 402\*  
DEED BOOK 2552, PAGES 517 & 518\*  
DEED BOOK 2094, PAGE 21\*  
PLAN BOOK 444, PLAN No. 38\*  
PLAN BOOK 39, PLAN No. 9  
PLAN BOOK 307, PLAN No. 37\*

\* DENOTES DOCUMENTS RECORDED AT  
ESSEX SOUTH DISTRICT REGISTRY OF DEEDS

PLEASANT STREET LAYOUT OF 1859, CITY RECORD VOLUME 12, PAGE 46\*\*  
RAILROAD AVENUE LAYOUT OF 1854, CITY RECORD HIGHWAYS BOOK, PAGE 66\*\*  
HARDY STREET LAYOUT OF 1896, VOLUME 2, PAGE 249\*\*

\*\* DENOTES DOCUMENTS RECORDED AT CITY OF BEVERLY ENGINEERING

**REVISIONS**

NO.	DATE	DESCRIPTION	BY	CHK'D
1	5/11/15	CITY ENGINEER COMMENTS	CJR	CEW



**131 RANTOUL STREET**

**RECORD CONDITIONS/ DEMOLITION PLAN**

LOCATED IN  
**BEVERLY, MASSACHUSETTS**  
(ESSEX COUNTY)

PREPARED FOR  
**DEPOT SQUARE PHASE III LLC**

SCALE: 1" = 20'      DATE: MARCH 9, 2015

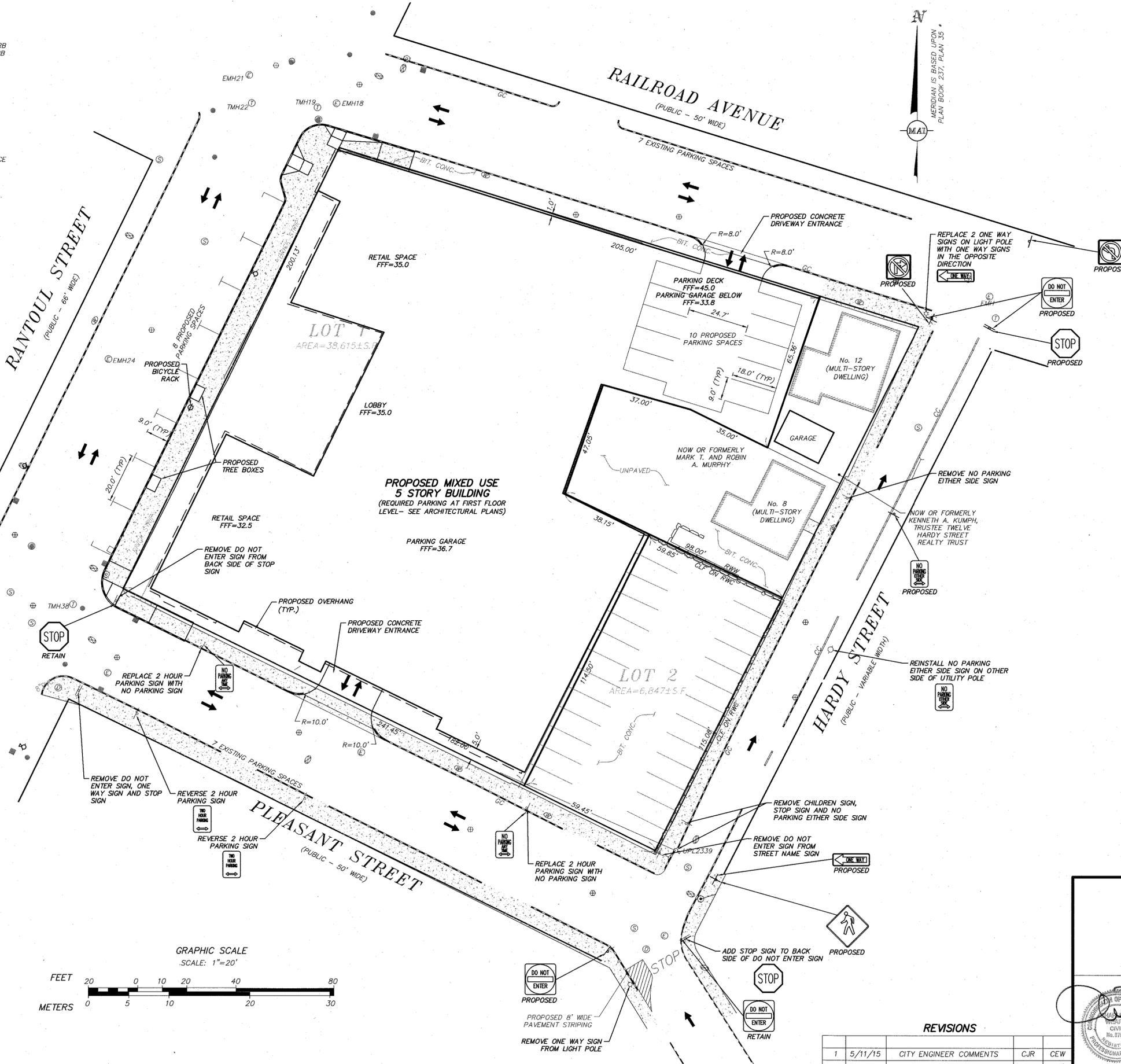
**MERIDIAN ASSOCIATES**

500 CUMMINGS CENTER, SUITE 5950      69 MILK STREET, SUITE 302  
BEVERLY, MASSACHUSETTS 01915      WESTBOROUGH, MASSACHUSETTS 01581  
TELEPHONE: (978) 299-0447      TELEPHONE: (508) 871-7030  
WWW.MERIDIANASSOC.COM

SHEET No. 2 OF 6      PROJECT No. 5710

**LEGEND:**

- 34x2 ONE FOOT CONTOUR
- SPOT GRADE
- PGC PROPOSED GRANITE CURB
- PGC PROPOSED INTEGRAL CONCRETE CURB
- PGC PROPOSED PRECAST CONCRETE CURB
- R.W. PROPOSED RETAINING WALL
- PROPOSED BOLLARD
- PROPOSED SIGN
- PROPOSED LIGHT
- PROPOSED WHEEL CHAIR RAMP
- PROPOSED BENCH
- PROPOSED CATCH BASIN
- PROPOSED DRAIN MANHOLE
- PROPOSED YARD DRAIN
- PD PROPOSED DRAIN LINE
- PS PROPOSED SEWER LINE
- PW PROPOSED WATER LINE
- PROPOSED CHAIN LINK FENCE
- PROPOSED 4" NATURAL CEDAR FENCE
- PROPOSED HANDRAIL
- TERMINOUS UNKNOWN
- OHW PROPOSED OVERHEAD WIRE
- POH PROPOSED OVERHANG
- PEOP PROPOSED EDGE OF PAVEMENT



**PARKING TABLE:**

**REQUIRED:**

- 72 RESIDENTIAL UNITS
- 1 SPACE PER EACH RESIDENTIAL UNIT = 72 SPACES
- 7200 SF RETAIL SPACE GROSS FLOOR AREA
- 1 SPACE PER 275 SF OF GROSS FLOOR AREA = 27 SPACES
- TOTAL REQUIRED = 99 SPACES**

**PROVIDED:**

- ENCLOSED PARKING GARAGE = 62 SPACES
- OPEN PARKING DECK = 10 SPACES
- TOTAL ON SITE = 72 SPACES**

**STREET:**

RANTOUL STREET ABUTTING PARCEL FRONTAGE = 8 SPACES

**MRTA PARKING GARAGE:**

19 SPACES

**TOTAL PROVIDED = 99 SPACES**

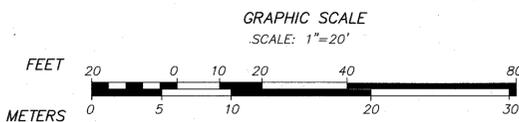
**SCHEDULE OF DIMENSIONAL CONTROLS:**

ZONING DISTRICT: CC  
(CENTRAL BUSINESS DISTRICT)

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA:	NONE	38,615 SF	38,615 SF
MAXIMUM BUILDING HEIGHT:	55 FT	-	55 FT
MINIMUM LOT FRONTAGE:	50 FT	200.13 FT	200.13 FT
FRONT YARD SETBACK:	NONE	0 FT	0 FT
SIDE YARD SETBACK:	NONE	1 FT	1 FT
REAR YARD SETBACK:	NONE	0 FT	0 FT

**NOTES:**

1. PLEASANT STREET IS CURRENTLY ONE WAY TRAFFIC TO RANTOUL STREET. IT IS BEING PROPOSED THAT PLEASANT STREET BE CHANGED TO TWO WAY TRAFFIC UP TO THE INTERSECTION WITH HARDY STREET.
2. HARDY STREET IS CURRENTLY ONE WAY TRAFFIC TO PLEASANT STREET. IT IS BEING PROPOSED THAT ONE WAY TRAFFIC ON HARDY STREET BE REVERSED TOWARDS RAILROAD AVENUE.
3. THE IMPROVEMENTS WITHIN RANTOUL STREET ARE TO BE COMPLETED UNDER THE ROUTE 1A (RANTOUL STREET AND CABOT STREET) IMPROVEMENT PROJECT. THE IMPROVEMENTS INCLUDE CONCRETE SIDEWALKS, WHEEL CHAIR RAMP, UTILITY IMPROVEMENTS, CURBING, PAVEMENT AND LIGHTING. IMPROVEMENTS ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY. PLEASE REFER TO THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION HIGHWAY DIVISION ROUTE 1A (RANTOUL STREET AND CABOT STREET) PLANS.
4. THE ROUTE 1A IMPROVEMENTS INCLUDE THREE CONCRETE DRIVEWAYS FOR ACCESS INTO THE SITE FROM RANTOUL STREET. SINCE THE BUILDINGS ARE BEING DEMOLISHED AND THE SITE IS BEING RECONFIGURED THE THREE CONCRETE DRIVEWAYS ARE NO LONGER NEEDED. THEREFORE THEY ARE NOT SHOWN ON THIS PLAN.



**131 RANTOUL STREET**  
**LAYOUT PLAN**  
LOCATED IN  
**BEVERLY, MASSACHUSETTS**  
(ESSEX COUNTY)

PREPARED FOR  
**DEPOT SQUARE PHASE III LLC**  
SCALE: 1" = 20' DATE: MARCH 9, 2015

**MERIDIAN ASSOCIATES**

500 CUMMINGS CENTER, SUITE 5950 BEVERLY, MASSACHUSETTS 01915  
TELEPHONE: (978) 294-9447 WWW.MERIDIANASSOC.COM

69 MILK STREET, SUITE 302 WESTBOROUGH, MASSACHUSETTS 01581  
TELEPHONE: (508) 871-7030

SHEET No. 3 OF 6 PROJECT No. 5710

**REVISIONS**

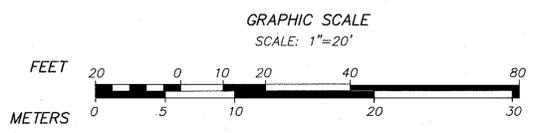
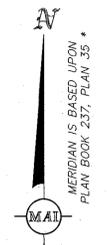
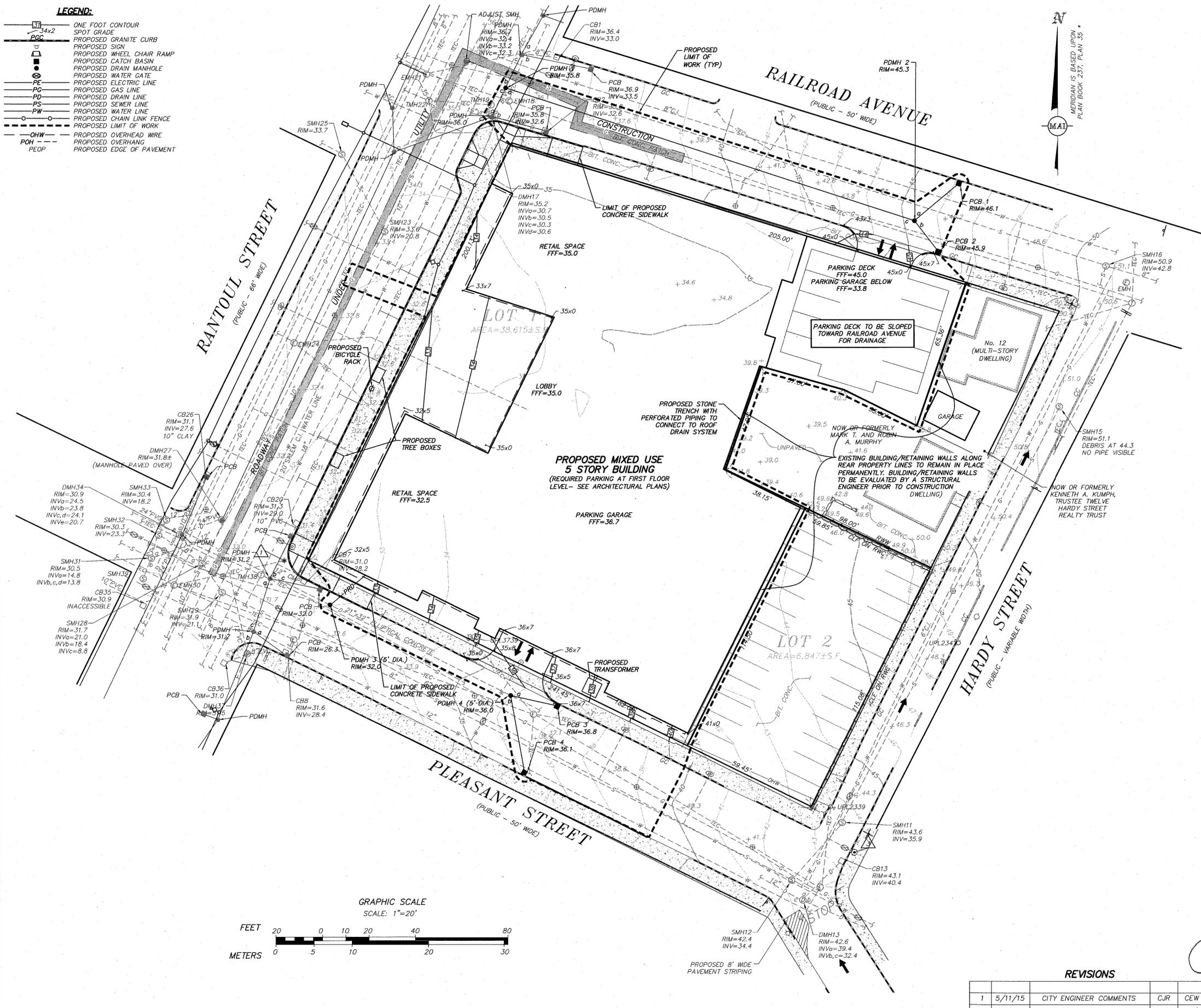
NO.	DATE	DESCRIPTION	BY	CHK'D
1	5/11/15	CITY ENGINEER COMMENTS	CJR	CEW



DWG. No. 5710 SITE

**LEGEND:**

- ONE FOOT CONTOUR
- SPOT GRADE
- PROPOSED GRANITE CURB
- PROPOSED SIGN
- PROPOSED WHEEL CHAIR RAMP
- PROPOSED CATCH BASIN
- PROPOSED DRAIN MANHOLE
- PROPOSED WATER GATE
- PROPOSED ELECTRIC LINE
- PROPOSED GAS LINE
- PROPOSED DRAIN LINE
- PROPOSED SEWER LINE
- PROPOSED WATER LINE
- PROPOSED CHAIN LINK FENCE
- PROPOSED LIMIT OF WORK
- PROPOSED OVERHEAD WIRE
- PROPOSED OVERHANG
- PROPOSED EDGE OF PAVEMENT



- NOTES:**
- WITHIN THE LIMIT OF WORK ON BOTH RAILROAD AVENUE AND PLEASANT STREET THE ROADWAY SHALL BE COLD PLANED AND OVERLAYED FROM CURB TO CURB.
- PROPOSED GRADING NOTES:**
- POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES SHALL BE MAINTAINED WITH THE USE OF GRASS LINED SWALES.
  - AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE. BLEND NEW PAVEMENT, CURBS AND EARTHWORK SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADUES AND JOINTS.
  - PITCH EVENLY BETWEEN SPOT GRADES. ALL PAVED AREAS MUST PITCH TO DRAIN AT A MINIMUM OF 1/8" PER FOOT UNLESS SPECIFIED. ANY DISCREPANCIES NOT ALLOWING THIS MINIMUM PITCH SHALL BE REPORTED TO THE ENGINEER PRIOR TO CONTINUING WORK.
  - THE CONTRACTOR SHALL SCHEDULE WORK TO ALLOW THE FINISHED SUBGRADE ELEVATIONS TO DRAIN PROPERLY WITHOUT FORMING SURFACE PONDS.
  - CONTRACTOR TO PROVIDE AND MAINTAIN APPROPRIATE EROSION CONTROL UNTIL ALL SITE WORK IS COMPLETED AND THE SITE IS FULLY VEGETATED AND/OR STABILIZED.
  - PRIOR TO CONSTRUCTION, AN ADDITIONAL TEMPORARY BENCHMARK SHALL BE SET WHICH WILL NOT BE DAMAGED DURING CONSTRUCTION PROCESS.

**131 RANTOUL STREET  
GRADING/ STORM DRAINAGE PLAN  
LOCATED IN  
BEVERLY, MASSACHUSETTS  
(ESSEX COUNTY)**

PREPARED FOR  
**DEPOT SQUARE PHASE III LLC**  
SCALE: 1"=20' DATE: MARCH 9, 2015



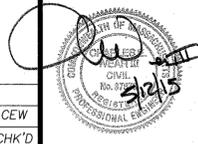
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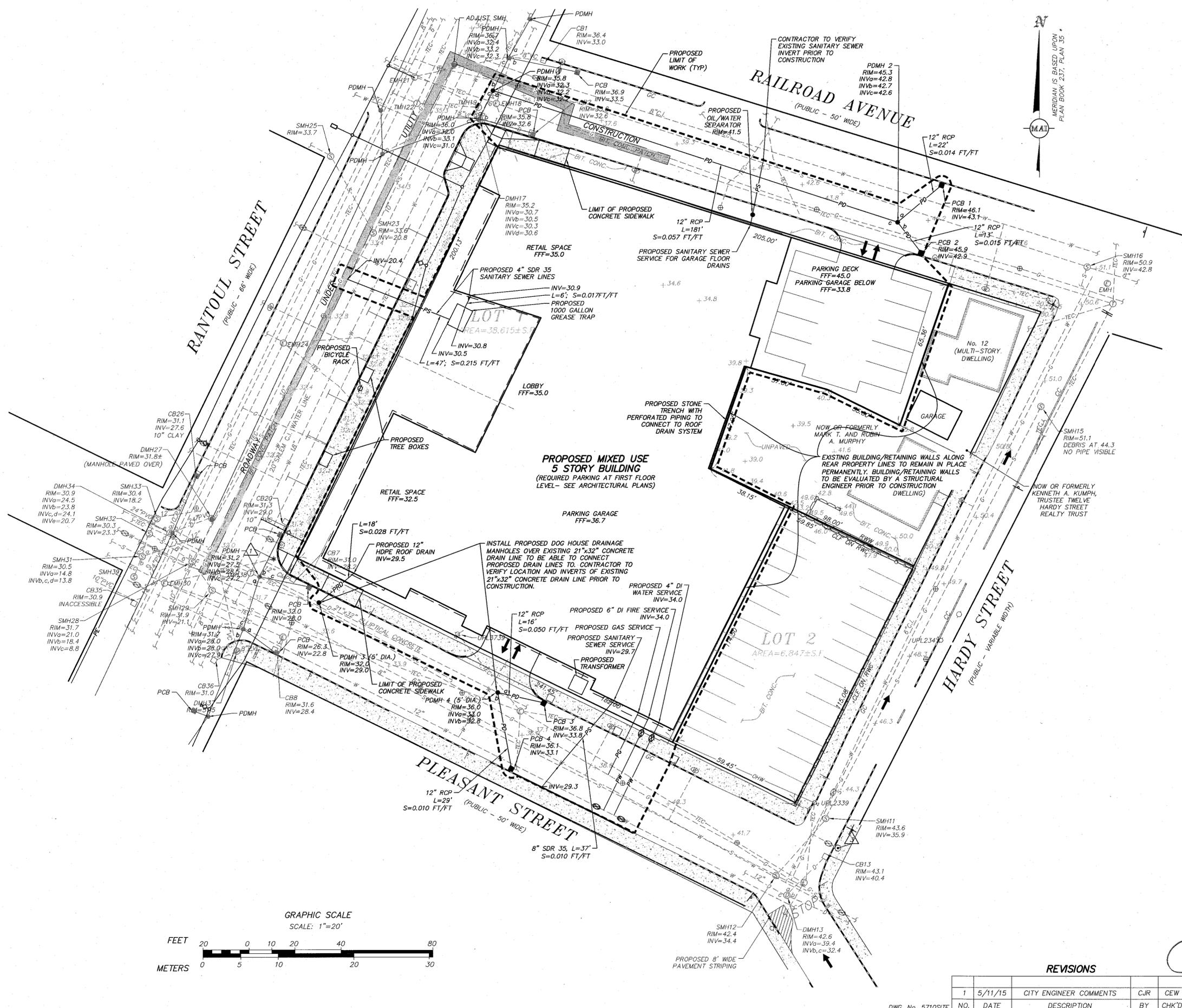
69 MILK STREET, SUITE 302 WESTBOROUGH, MASSACHUSETTS 01581  
TELEPHONE: (508) 871-7030

SHEET No. 4 OF 6 PROJECT No. 5710

**REVISIONS**

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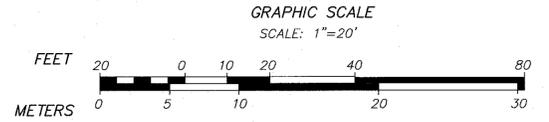




**LEGEND:**

1/4" x 2"	ONE FOOT CONTOUR
SPOT GRADE	
PGC	PROPOSED GRANITE CURB
WHEEL CHAIR RAMP	PROPOSED WHEEL CHAIR RAMP
CATCH BASIN	PROPOSED CATCH BASIN
DRAIN MANHOLE	PROPOSED DRAIN MANHOLE
WATER GATE	PROPOSED WATER GATE
PE	PROPOSED ELECTRIC LINE
PG	PROPOSED GAS LINE
PD	PROPOSED DRAIN LINE
PS	PROPOSED SEWER LINE
PW	PROPOSED WATER LINE
CHAIN LINK FENCE	PROPOSED CHAIN LINK FENCE
LIMIT OF WORK	PROPOSED LIMIT OF WORK
OHW	PROPOSED OVERHEAD WIRE
POH	PROPOSED OVERHANG
PEOP	PROPOSED EDGE OF PAVEMENT

- PROPOSED UTILITY NOTES:**
- THE CONTRACTOR SHALL VERIFY EXISTING GRADES IN THE FIELD AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER. THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES, AS REQUIRED, WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK. THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE OWNER AND ENGINEER FOR RESOLUTION.
  - INSTALL ALL UTILITIES (INCLUDING CONCRETE MECHANICAL PADS) PER MEP SPECIFICATIONS, UTILITY COMPANY AND LOCAL DPW STANDARDS.
  - CONTRACTOR SHALL PROTECT ALL UNDERGROUND DRAINAGE, SEWER AND UTILITY FACILITIES FROM EXCESSIVE VEHICULAR LOADS DURING CONSTRUCTION. ANY DAMAGE TO THESE FACILITIES RESULTING FROM CONSTRUCTION LOADS WILL BE RESTORED TO ORIGINAL CONDITION AT NO COST TO OWNER.
  - THE EXISTING DOMESTIC WATER SERVICE AND FIRE SERVICE MUST BE ABANDONED BACK TO THE WATER MAIN THAT IT ORIGINATES FROM PRIOR TO OCCUPANCY.
  - THE EXISTING SEWER SERVICE MUST BE ABANDONED, CUT AND CAPPED TO THE BACK EDGE OF THE SIDEWALK OR PROPERTY LINE PRIOR TO OCCUPANCY.
  - EXCAVATION REQUIRED WITHIN THE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO COST TO THE OWNER.
  - COORDINATE UTILITY CONSTRUCTION WITH ALL TRADES AND CORRESPONDING DESIGN PLANS FOR CONNECTION TO EXISTING BUILDING AND SITE UTILITIES.
  - PROPOSED BUILDING UTILITY CONNECTIONS DEPICTED HEREON HAVE BEEN PROVIDED FOR SCHEMATIC PURPOSES ONLY. ACTUAL UTILITY CONFIGURATIONS SHALL BE DETERMINED BY THE RESPECTIVE UTILITY PROVIDERS, MEP SPECIFICATIONS, AND PROPOSED CONNECTION LOCATIONS PROVIDED BY THE ARCHITECT.
  - REFER TO ARCHITECTURAL AND MEP PLANS FOR INFORMATION AND DETAILS REGARDING THE LOCATION, SIZE AND TYPES OF PROPOSED UTILITY CONNECTIONS.
  - THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TEES, VALVES, EXPANSION AND/OR CONTRACTION FITTINGS, GATES AND ALL OTHER PARTS AND PIPING NECESSARY FOR THE INSTALLATION OF THE WATER LINES AND FIRE SUPPRESSION LINES. ALL WORK SHALL BE COORDINATED WITH THE CITY OF BEVERLY WATER DIVISION AND FIRE DEPARTMENT.
  - ALL TRENCHING, DIGGING, AND EXCAVATING SHALL BE EXECUTED AND PROTECTED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS, INCLUDING, BUT NOT LIMITED TO, MASSACHUSETTS GENERAL LAW B2A ("JACKIE'S LAW", EFFECTIVE JANUARY 1, 2009).
  - THE CONTRACTOR SHALL PROVIDE UNDERGROUND ELECTRIC CONDUIT FOR SITE LIGHTING AS APPROPRIATE.
  - THE LOCATION OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED UPON A PARTIAL FIELD SURVEY AND COMPILATION OF PLANS OF RECORD. MERIDIAN ASSOCIATES, INC. DOES NOT WARRANT NOR GUARANTEE THE LOCATION OF ALL UTILITIES DEPICTED OR NOT DEPICTED. THE CONTRACTOR, PRIOR TO COMMENCEMENT OF CONSTRUCTION, SHALL VERIFY THE LOCATION OF ALL UTILITIES AND CONTACT DIG SAFE AT 1-888-344-7233.
  - THE ELECTRIC AND TELEPHONE LINES ARE SHOWN FOR SCHEMATIC PURPOSES ONLY. SEE PLANS PREPARED BY THE ELECTRICAL ENGINEER FOR DETAILS AND SPECIFICATIONS.
  - THE EXISTING ROOF DRAINS MUST BE ABANDONED, CUT AND CAPPED TO THE BACK EDGE OF THE SIDEWALK OR PROPERTY LINE PRIOR TO OCCUPANCY.



**REVISIONS**

NO.	DATE	DESCRIPTION	BY	CHK'D
1	5/11/15	CITY ENGINEER COMMENTS	CJR	CEW



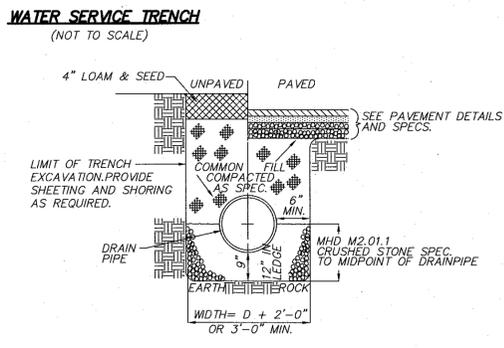
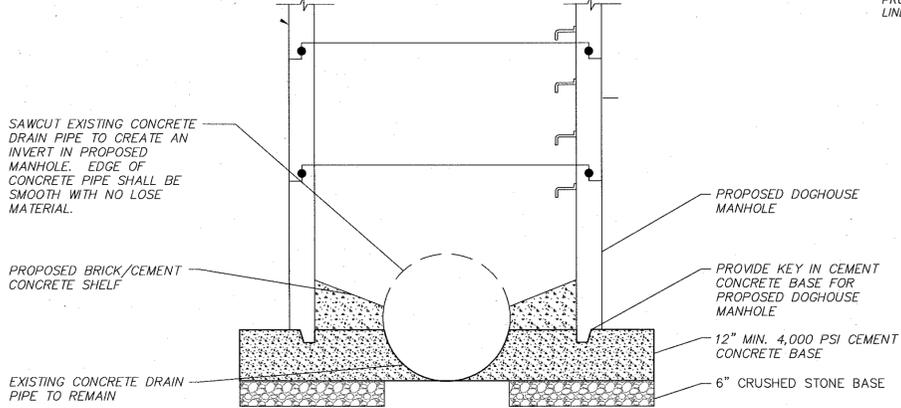
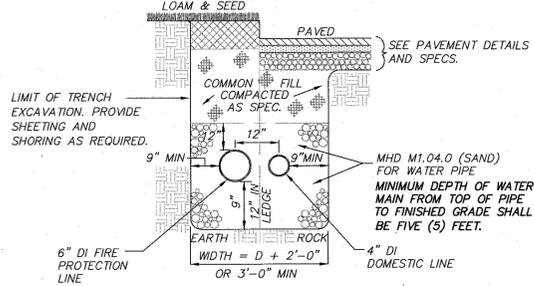
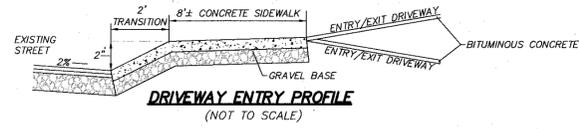
**131 RANTOUL STREET**  
**UTILITY PLAN**  
LOCATED IN  
**BEVERLY, MASSACHUSETTS**  
(ESSEX COUNTY)

PREPARED FOR  
**DEPOT SQUARE PHASE III LLC**  
SCALE: 1" = 20' DATE: MARCH 9, 2015

**MERIDIAN ASSOCIATES**

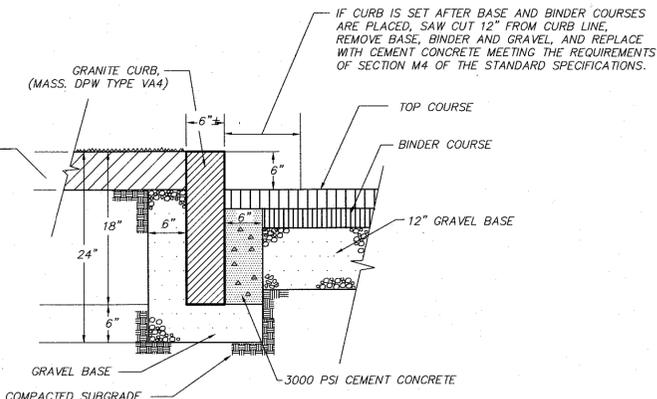
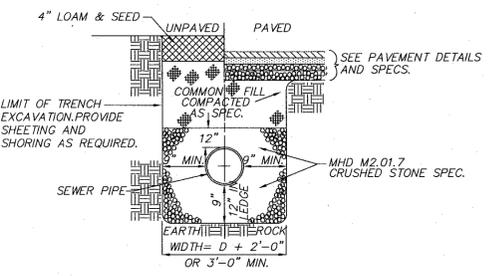
500 CUMMINGS CENTER, SUITE 5950 BEVERLY, MASSACHUSETTS 01915  
TELEPHONE: (978) 299-0447 WWW.MERIDIANASSOC.COM

SHEET No. 5 OF 6 PROJECT No. 5710



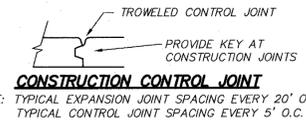
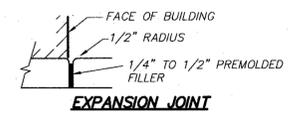
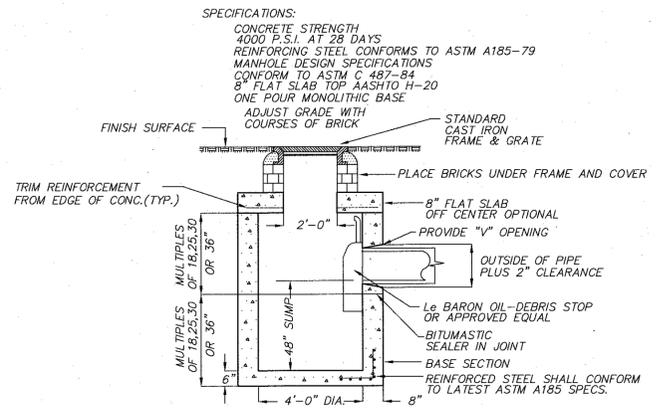
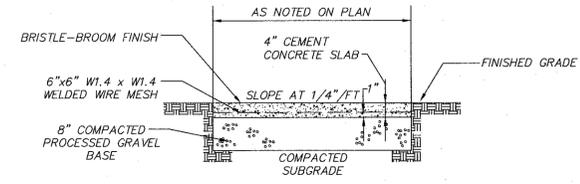
**DOG HOUSE DRAIN MANHOLE DETAIL**  
(NOT TO SCALE)

**STORM DRAIN TRENCH DETAIL**  
(NOT TO SCALE)



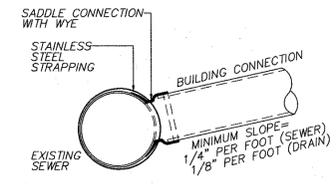
**SEWER TRENCH DETAIL**  
(NOT TO SCALE)

**GRANITE CURB DETAIL**  
(NOT TO SCALE)



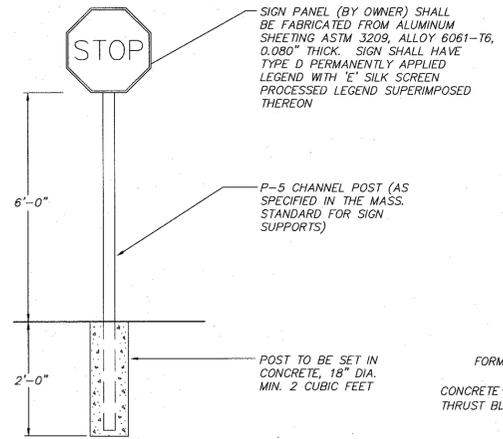
**CONCRETE WALKWAY**  
(NOT TO SCALE)

**FLAT TOP CATCH BASIN WITH OIL/GREASE TRAP**  
(NOT TO SCALE)

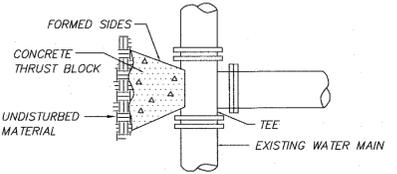


- NOTES:**
- FULL PVC OR IRON SADDLE MAY BE USED TO CONNECT TO EXISTING PVC, CLAY, CONCRETE, OR IRON PIPE
  - SADDLES MUST HAVE RUBBER GASKETS AND SHALL BE TIGHTENED WITH STRAPS. SADDLES WILL NOT BE CEMENTED ONTO THE PIPE.
  - FULL WYE CONNECTION FITTINGS MAY BE USED.
  - PIPE SHALL BE CUT TO CONFORM TO THE OPENING IN THE SADDLE.
  - CONNECTIONS DIRECTLY INTO THE EXISTING PIPE WITHOUT A SADDLE OR FULL WYE FITTING ARE NOT ALLOWED.
  - BUILDING CONNECTIONS SHALL BE BEDDED IN 3/4" MIN CRUSHED STONE TO AT LEAST HALF THE PIPE DIAMETER.

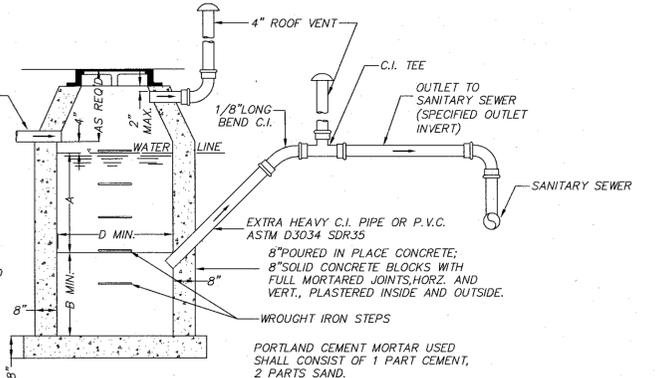
**SEWER CONNECTION DETAIL**  
(NOT TO SCALE)



**STOP SIGN DETAIL**  
(NOT TO SCALE)

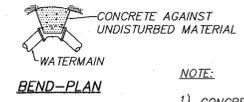


**TEE CONNECTION TO WATER MAIN**  
(NOT TO SCALE)



- NOTES:**
- ALL INLET TRAPS TO BE PROVIDED IN ACCORDANCE WITH 24B CMR 2.00
- ALUMINUM OR PLASTIC COATED WROUGHT IRON STEPS CAN BE USED.
- FOR INLETS LARGER THAN 10" THE DESIGN AND DIMENSIONS WILL BE DETERMINED FOR EACH PARTICULAR CASE
- PRE-CAST SEPARATORS ARE TO HAVE ALL SPECIFIED HOLES EITHER CORE-BORED OR CAST IN PLACE.

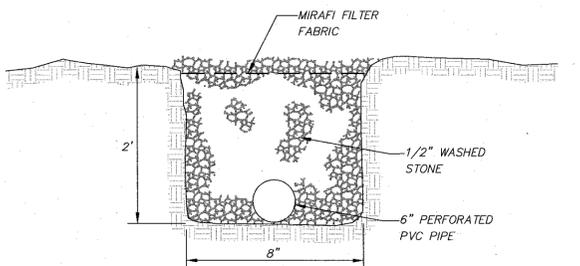
**OIL/WATER SEPARATOR**  
(NOT TO SCALE)



- NOTE:**
- CONCRETE FOR THRUST BLOCKS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI AT 28 DAYS
  - THRUST BLOCK BEARING AREAS TO BE IN ACCORDANCE WITH TABLE BELOW, UNLESS DETERMINED OTHERWISE BY THE ENGINEER BECAUSE OF SOIL CONDITIONS

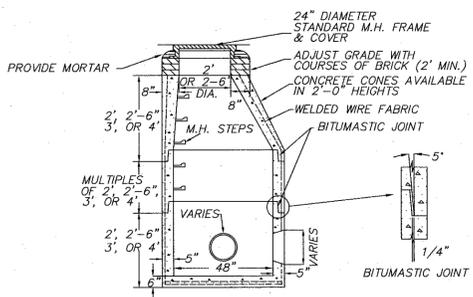
DIAMETER MAIN (IN.)	TEE	90° BEND	45° BEND	PLUG
4	4	4	4	4
6	4	4	4	4
8	4	6	4	6
10	6	8	6	8
12	8	12	6	12

**THRUST BLOCK DETAIL**  
(NOT TO SCALE)



**STONE TRENCH DETAIL**  
(NOT TO SCALE)

- NOTES:**
- MANHOLE DESIGN TO LATEST ASTM C478.
  - REINFORCING STEEL CONFORMS TO LATEST ASTM A 185.
  - CONCRETE COMPRESSIVE STRENGTH - 4,000 PSI @ 28 DAYS.
  - ONE POUR MONOLITHIC BASE.
  - WHEN SPECIFIED, MANHOLES WATERPROOF COATED.
  - STEPS - STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTICS (PS2-PFSL M.A. INDUSTRIES, INC.) CONFORMS TO LATEST ASTM C478 PARA-12.
  - BITUMASTIC BUTYL RUBBER FOR JOINTS CONFORM TO LATEST ASTM C443 AND FED SS-S-201A SPEC.



**DRAIN MANHOLE DETAIL**  
(NOT TO SCALE)

**REVISIONS**

NO.	DATE	DESCRIPTION	BY	CHK'D
1	5/11/15	CITY ENGINEER COMMENTS	CJR	CEW

DWG. No. 5710DET

**131 RANTOUL STREET**  
**DETAILS**  
LOCATED IN  
**BEVERLY, MASSACHUSETTS**  
(ESSEX COUNTY)

PREPARED FOR  
**DEPOT SQUARE PHASE III LLC**  
SCALE: NOT TO SCALE DATE: MARCH 9, 2015

**MERIDIAN ASSOCIATES**

500 CUMMINGS CENTER, SUITE 5950 BEVERLY, MASSACHUSETTS 01915  
69 MILL STREET, SUITE 302 WESTBOROUGH, MASSACHUSETTS 01581  
TELEPHONE: (978) 298-0447 TELEPHONE: (508) 871-7030  
WWW.MERIDIANASSOC.COM

SHEET No. 6 OF 6 PROJECT No. 5710

